



U.S. Department of Housing and Urban
Development

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Environmental Assessment Determinations and Compliance Findings for HUD-assisted Projects 24 CFR Part 58

Use of federal funding is subject to federal environmental review requirements under the NEPA requiring the preparation of NEPA environmental documentation pursuant to the HUD NEPA regulations at 24 CFR Part 58. Because the Project is neither exempt nor categorically excluded under §§58.34 and 58.35, preparation of an Environmental Assessment (EA) is required. The Connecticut Department of Housing, acting as the Responsible Entity, is responsible for preparation of an EA pursuant to HUD NEPA regulations at 24 CFR 58. The purpose of the EA is to assess whether the proposed Project, the Bridge on Main, meets Part 58 regulations. Development may result in environmental impacts that would require further environmental review or mitigation so that federal funds can be used for the Site.

Freeman Companies has prepared this EA on behalf of Career Resources, Inc. for Bridge on Main Resource Center. The EA identifies proposed mitigation measures to avoid or minimize potential adverse impacts for the continued development of the project. The proposed mitigation measures are provided for the resource categories of historic preservation, contamination and toxic substances, solid waste disposal/recycling and waste water/sanitary sewers. The mitigation measures for solid waste disposal/recycling and waste water/sanitary sewers are suggested improvements over the current situation and not to be considered mandatory as it has been determined in this analysis that there would be no net effect of factors related to these subjects on the surrounding environment.

Based on the implementation of the proposed mitigation measures, a determination of Finding of No Significant Impact (FONSI) is included with the EA. The Responsible Entity may proceed to dissemination and publication of the FONSI, per regulations found at 24 CFR Part 58.43(a).

Project Information

Project Name: Bridge on Main Resource Center

Responsible Entity: Connecticut Department of Housing

Grant Recipient (if different than Responsible Entity): Career Resources, Inc.

State/Local Identifier: Bridgeport, Connecticut

Preparer: Freeman Companies, LLC

Certifying Officer Name and Title: Miguel Rivera, Director of Housing and Community Development, Connecticut Department of Housing

Consultant: Freeman Companies, LLC

Direct Comments to: Miguel Rivera 860-270-8012, rivera.miguel@ct.gov

Project Location:

The project is located in the core of Downtown Bridgeport, on the corner of Main and Fairfield Streets, west of the Pequonnock River. The Bridge on Main project address is located at 1085-1095 Main Street within the City of Bridgeport, Fairfield County, Connecticut, zip code 06604. The parcel is designated Map 35, Block 916, Lot 12 by the City Assessor's database. The Site consists of approximately 0.27 acres of land which is wholly occupied by the site building.

See Appendix A for a site location map and view of the surrounding project area, as seen on Google Earth as well as the Site location survey by J. Edwards and Associates, LLC, dated October 2022. As the Site survey shows location data only, for more information, please refer to the topographical map of the Site and project area, obtained through Connecticut Environmental Conditions Online (CT ECO).

Description of the Proposed Project [24 CFR 50.12 & 58.32; 40 CFR 1508.25]:

The Bridge on Main, LLC has purchased and is proposing to remodel an existing storefront commercial mixed-use facility. Programmatic partners, who are the direct beneficiaries of the project are currently situated in various locations throughout the Greater Bridgeport Area; however, their main interaction with the project will be through satellite offices, set up at the Site building itself.

The building was built in 1947 and is a three-story vacant commercial/department store-type building with a 10,660 square foot footprint and approximately 42,640 square feet of gross living area, including the basement level, which is slated to be finished into useable space. The building has been largely gutted of interior structures and finishes and has had the former gas-fired heating system removed. The roof is flat and consists of built-up tar and gravel. Please refer to the City of Bridgeport assessor's card in Appendix B for more detailed building information.

The interior of the building is proposed to be renovated into a combination of offices, meeting rooms, classrooms, collaborative space, a clinic, a multi-purpose event space including a commercial kitchen, a public-facing coffee shop on the first floor as well as a rooftop garden and solar panels. A new HVAC system will be installed. The construction is scheduled to take place immediately following approval of plans by the Bridgeport Planning and Zoning Department and should take 14-16 months to complete, barring unforeseen difficulties. The construction staging area would be located entirely within the existing right-of-way. No major groundbreaking activities are scheduled. Minor disturbances may be required to connect new infrastructure to existing utilities.

CRI's plans for the renovation and utilization of floor space include:

- **First Floor:** The Bridgeport Reentry Welcome Center and Entry Point Staffing will have street level offices and storefront visibility to drive awareness and engagement of CRI programs among potential clients. CRI will also open social enterprises – café, bakery and commercial kitchen – on the street level to maximize community engagement and revenue. CRI's partner agencies will be allotted office space on the First Floor.
- **Second Floor:** CRI's administrative offices will be relocated to create a cohesive and collaborative workspace for employees and volunteers and will be located on the second floor.
- **Third Floor:** The third floor will be renovated to accommodate office space for CRI partner agencies, local businesses, other community-based organizations, and training rooms for CRI programs. The training rooms will include a state-of-the-art literacy center with designated computer space, GED classrooms, and several conference rooms for partner and tenant use. The conference rooms will also be available as rental space for use by local businesses and organizations. CRI will also consider providing short-term leases as co-working space for local entrepreneurs and start-ups.
- **Lower Level:** The lower level will be converted to an attractive venue space that can be rented out for private and public events, meetings and programs, job fairs and exhibits, and other community events. CRI is confident the venue space at The Bridge on Main will prove to be a valuable asset to residents of Bridgeport and neighboring communities in Fairfield County given the closing of the Bridgeport Holiday Inn and the current lack of comparable venue space.

See Appendix C for 90% draft project architectural plans.

Statement of Purpose and Need for the Proposal [40 CFR 1508.9(b)]:

Career Resources, Inc. has launched an \$18 million capital campaign in the interest of creating a public-private investment to outfit the building at 1085 Main Street (Site) into a collaborative resource center. Bridge on Main will serve Bridgeport's citizens returning from incarceration and other system-impacted individuals with easy and timely access to job training and placement services, in conjunction with critical workforce supports, to address barriers to employment and economic equity. These residents disproportionately represent communities of color who are often faced with significant inequity when attempting to access employment opportunities.

These barriers include, but are not limited to, basic skills deficiencies, housing insecurity, substance abuse, mental health, and medical issues. The Bridge on Main and its program partners will collectively and creatively deliver integrated services to significantly improve outcomes for Bridgeport residents.

CRI will relocate its administrative offices, as well as the Bridgeport Reentry Welcome Center (which CRI currently operates) to the Bridge on Main facility. The primary businesses that will benefit from the proposed project include over 10 local non-profit organizations and public-private partnership ventures, representing more than 120 employees that currently serve as programmatic

partners to CRI. Many of these partners will set up satellite offices and provide services directly from the Bridge on Main site building. Local partners to Career Resources include:

- **Regional Youth Adult Social Action Partnership (RYASAP) at 2470 Fairfield Avenue, Bridgeport** serves the most at-risk youth and adults experiencing poverty, trauma, mental health, and addiction in the greater Bridgeport, Connecticut region.
- **Bridgeport Reentry Welcome Center at 480 Bond Street, Bridgeport** provides a centralized hub of services for formerly incarcerated, end-of-sentence and system-impacted individuals.
- **Recovery Network of Programs at 1549 Fairfield Avenue, Bridgeport** is dedicated to helping individuals recover from substance use, homelessness and mental health disorders.
- **Entry Point Staffing at 1000 Lafayette Boulevard, Bridgeport** places second chance workers while continuing to offer full wrap-around support.
- **Her Time at 570 State Street, Bridgeport** focuses on empowering women, especially those impacted by incarceration or suffering from trauma due to sexual abuse and domestic violence.
- **Yale Transitions Clinic (Optimus Health Care) at 1071 East Main Street, Bridgeport** is an evidenced-based program that improves the health and reentry outcomes for people returning from incarceration.
- **Justice Coffee** will train workers in the food service industry and provide a café and eatery within the Bridge on Main storefront space.
- **Webster Bank at 3546 Main Street, Bridgeport** has committed to providing \$750,000 in financial support for the program and will provide banking solutions for system-impacted individuals.

Bridge on Main will also indirectly contribute to the revitalization of Downtown Bridgeport by generating increased foot traffic and community and business engagement through multiple measures. A multi-purpose event space will fill a void left in the immediate neighborhood by the closure of the former Holiday Inn Ballroom. Classroom space, a rooftop garden, a public-facing coffee shop and health and welfare services will draw people to the neighborhood, creating a congenial atmosphere for other small businesses to locate in the area and thrive.

Existing Conditions and Trends [24 CFR 58.40(a)]:

The project is located in the core of Downtown Bridgeport, on the corner of Main and Fairfield Streets, west of the Pequonnock River. This project and adjacent parcels are located entirely within the city limits in the Downtown Core zone. This urban zone is intended for the highest intensity of activity downtown, where mixed-use buildings include ground-floor storefronts and upper story offices, residential, and other commercial uses. The Site is within the Downtown Neighborhood Revitalization Zone (NRZ) which began plans for improvements to the downtown area in 2006. The plan aims to bring back the young working population to the downtown area by encouraging affordable housing and entertainment venues within the area. The Site is also located within the Bridgeport Downtown North Historic District.

Bridgeport was incorporated as a town in 1821 and as a city in 1836. Located adjacent to a good quality harbor, Downtown Bridgeport was historically a center of maritime commerce and because of rail connections to New York City, became a major commercial hub by about 1850. Industrial development then took place in the latter half of the century, with the major financial and commercial services located in the Downtown Bridgeport area. The area remains a commercial, financial and transportation hub to date, with present usage echoing the past economic history of the area. With over 147,000 residents, Bridgeport is Connecticut's largest city.

There are 28,264 residents in Downtown Bridgeport, with a median age of 38.9. White-collar workers make up 77.45% of the working population in Downtown Bridgeport, while blue-collar employees account for 22.55%. There are 12,898 housing units in Downtown Bridgeport, and the median year in which these properties were built is 1947. Of the 11,612 occupied housing units in Downtown Bridgeport, 38.05% are owner-occupied, while 61.95% have renters living in them. Meanwhile, properties bought with mortgages account for 66.95% of the units, and the median value of a home with a mortgage is \$264,200. In general, housing costs reach \$1,459 per month in Downtown Bridgeport. Approximately 37.28% of the population in Downtown Bridgeport holds a high school degree (that's 8,656 residents), while 17.12% have attained a college certificate (4,014 locals) and 14.86% have a bachelor's degree (3,451 people).

The downtown site is in close proximity to major transportation systems, including a system of pedestrian walkways, a Metro North train pick-up point, major bus stops, State Route 8 and Interstate Route 95. It is across the street from the Fairfield County Courthouse which overlooks a small park, Baldwin Plaza. The top three means of transportation people in Downtown Bridgeport use to get to work are: car, bus or trolley bus and walking. A total of 9,786 residents commute by car, 770 prefer going to work by bus or trolley bus and 762 by walking. In general, most people commute into the area daily to go to work but live in other neighborhoods.

The site is served by municipal water and sewer. Trash collection is by commercial hauler with disposal at local recycling centers and the Wheelabrator trash-to-energy plant. Since the building covers the entire property, there is no vegetation at the site and no special environmental conditions exist.

Funding Information

Grant Number	HUD Program	Funding Amount
B-24-CP-CT-0497	14.251 Economic Development Initiative, Community Project Funding, and Miscellaneous Grants	\$500,000

Estimated Total HUD Funded Amount: \$500,000

Estimated Total Project Cost (HUD and non-HUD funds) [24 CFR 58.32(d)]: \$18,000,000

Compliance with 24 CFR 50.4, 58.5, and 58.6 Laws and Authorities

Record below the compliance or conformance determinations for each statute, executive order, or regulation. Provide credible, traceable, and supportive source documentation for each authority. Where applicable, complete the necessary reviews or consultations and obtain or note applicable permits of approvals. Clearly note citations, dates/names/titles of contacts, and page references. Attach additional documentation as appropriate.

Compliance Factors: Statutes, Executive Orders, and Regulations listed at 24 CFR §58.5 and §58.6	Are formal compliance steps or mitigation required?	Compliance determinations
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 and 58.6		
Airport Hazards 24 CFR Part 51 Subpart D	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Site is not located within 2,500 feet of the end of a civil airport runway or 15,000 feet of the end of a military airfield runway. The closest airport to the site is Sikorsky Memorial at 3 miles. See Appendix D for an airport location map. <i>Sources: Google Maps 2024,</i> (https://www.google.com/maps)
Coastal Barrier Resources Coastal Barrier Resources Act, as amended by the Coastal Barrier Improvement Act of 1990 [16 USC 3501]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Site is not located in the vicinity of a Coastal Barrier Resource System (CBRS) as defined by the U.S. Fish & Wildlife Service. See Appendix E for a CBRS map. <i>Source: Coastal Barrier Resource System Map, U.S. Fish & Wildlife Service</i> (https://fwsprimary.wim.usgs.gov/CBRSSMap-per-v2/)
Flood Insurance Flood Disaster Protection Act of 1973 and National Flood Insurance Reform Act of 1994 [42 USC 4001-4128 and 42 USC 5 154a]	Yes No <input type="checkbox"/> <input checked="" type="checkbox"/>	The Site is not within a 100-year flood plain. The site is located in “Zone X” – Area of minimal flood hazard. This project does not require flood insurance. See Appendix F for a floodplain map. <i>Source: FEMA FIRMette</i> (https://msc.fema.gov/portal/home)
STATUTES, EXECUTIVE ORDERS, AND REGULATIONS LISTED AT 24 CFR 50.4 & 58.5		

<p>Clean Air</p> <p>Clean Air Act, as amended, particularly section 176(c) & (d); 40 CFR Parts 6, 51, 93</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Site is in Fairfield County, Connecticut, which is currently in non-attainment for 8-hour ozone (2015 standard), maintenance for PM2.5 24-hour (2006 standard) and maintenance for carbon monoxide (CO) (1971 standard).</p> <p>As to normal building occupancy, the proposed action is a replacement for a commercial venture previously existing at the Site, and therefore emissions resulting from the project will be comparable to what was there before and will not significantly affect local or regional air quality.</p> <p>As to new construction, only minor renovations to the interior of the building and cosmetic alterations to the building envelope will be undertaken. Construction activities will include fuel burning equipment, but the air emissions from this equipment are anticipated to be minor and temporary in nature. No local topographical or meteorological conditions exist that hinder the dispersal of air emissions; the project is located in a flat area with open topography and with standard meteorological conditions for a coastal city.</p> <p>The project's emissions levels for normal occupancy are projected to be similar to what has previously existed and for new construction are projected to be below <i>de minimis</i> levels for all nonattainment and maintenance pollutants. This assumes compliance with the Clean Air Act.</p> <p><i>Source: EPA Non-Attainment Standards (https://www.epa.gov/green-book/green-book-pm-25-2012-area-information), NEPAassist Mapping Tool (https://nepassisttool.epa.gov/nepassist/nepa-map.aspx)</i></p>
<p>Coastal Zone Management</p> <p>Coastal Zone Management Act, sections 307(c) & (d)</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Site is in a Coastal Zone Management area; however, impacts related to coastal resources are not anticipated because no coastal resources (beaches, coastal hazards, freshwater wetlands, tidal wetlands, etc.) are</p>

		<p>located on the Site, or properties adjacent to the Site. In addition, the project involves no site alterations, only interior renovation, so no Coastal Area Management permit is required.</p> <p>Please see Appendix G for a CT ECO Coastal Zone map showing the project Site.</p> <p><i>Source: Connecticut Coastal Zone Management Map</i></p> <p>https://ct-deep-gis-open-data-website-ctdeep.hub.arcgis.com/datasets/coastal-boundary/explore?location=41.165572%2C-73.194028%2C15.98)</p>
<p>Contamination and Toxic Substances</p> <p>24 CFR Part 50.3(i) & 58.5(i)(2)</p>	<p>Yes No</p> <p><input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>Toxic, hazardous or radioactive substances will not be produced or stored on site, with the exception of grease from grease traps which may be installed in conjunction with the commercial kitchen and café. According to the manufacturer's directions, the oil/water separators would be cleaned out periodically by a specialty service for proper disposal so that no release of these substances occurs to local waterways.</p> <p>A Hazardous Building Materials Investigation (HBMI) was conducted in January of 2025 by Freeman to evaluate the presence of asbestos, lead paint, potential for PCBs and Universal Waste. Asbestos was found in remnant flooring, remnant sheetrock systems, and roofing materials. Lead paint was found in limited areas, including glazed wall block associated with bathrooms and stairways. The material passed a Total Characteristic Leaching Procedure (TCLP) test and may therefore be disposed of as general construction waste, though worker protections are still warranted pursuant to Occupational Safety and Health Administration (OSHA) regulations. PCBs will not be sampled but assumed for flooring mastics, older paints with plaster substrate, roofing materials, and caulks for the purposes of waste characterization. All hazardous materials will be removed or abated in accordance with federal, state and local regulations.</p>

In addition, a radon test was conducted in the lowest habitable level of the building, which consists of one large open space in the Basement. Duplicate activated charcoal canisters were used for the test and the results were between 0.5 and 0.7 pCi/L, well under the standard level recommended by the EPA of 4.0 pCi/L and the new level at which mitigation is recommended, 2.0 pCi/L. No further action is needed regarding radon mitigation.

An environmental investigation was conducted at the property in October 2022 by Down to Earth Consulting LLC, and in January 2025 by Freeman Companies.

Earliest records indicated the Subject Property was developed prior to 1884 for commercial use. According to the 1884 Sanborn Map, the Site was occupied by various three-story buildings, which included the Whales Building and the Salem Building, as well as several other smaller buildings used as various storefronts. These were labelled as a 99 cent store, a millinery, a drugstore, and dwellings (which are suspected to have resided in the upper floors of the buildings). In the 1913 Sanborn Map, the previous buildings on the Site appeared to be demolished and replaced by the Meigs Building. Up until 1943, the Meigs Building was present, along with New Leavitt's – department store, H.L. Green – department store, and vacant residences. In the 1949 aerial photograph, the former Meigs Building appears to have been demolished and the Site is now depicted as its current configuration. This includes a medium sized, three-story square building.

In 1950, the Site is now labelled as F.W. Woolworth department store. It has fireproofed construction, a steel frame, concrete floors and roof, and sheetrock walls, and was built in 1947. F.W. Woolworth department store was present in the City Directory until 1974, when Rite-Aid and

Parks Children & Infants Wear took its place. In 1987, the Parks Children & Infants Wear was no longer present. In 1992, Justice Pharmacies took over the vacancy. Rite-Aid and Justice Pharmacies appeared to have occupied the Site until about 2010, since which the Site appears to have been unused.

Down to Earth Consulting LLC discovered the boiler system was once heated with fuel oil. The bulk storage of oil was believed to have been in a vault located adjacent to the boiler room and under the sidewalk. No records of its installation or removal were discovered. Minor staining was observed in two locations in the vault; on the wall in an area presumed to have been above the former storage tank and another on the floor at the fall wall of the vault. Staining is presumed to have been from overfilling and/or removal activities and has been identified as a de minimis condition. They identified no Recognized Environmental Conditions (RECSs), and no further action was warranted.

Freeman Companies did not identify any RECs, CRECs, HRECs, or AOCs in the January 2025 Phase I ESA. There was one de minimus condition identified, which was slight staining in the southwest corner of the vault, which is located to the south-southwest of the basement. The previous Phase I report by Down to Earth Consulting, LLC observed minor staining in two locations in the vault. They presumed it was due to overfilling and/or removal activities from a former fuel oil storage tank. However, there is no evidence that a former storage tank was located in the vault. There were no records provided or available regarding the presence of a tank, and there were no visible fill or vent pipes, or fuel supply lines normally associated with an oil tank.

See Appendix H for excerpts of the Phase I and HBMI reports.

		<p><i>Sources: Freeman Phase I ESA (2025), Freeman Hazardous Building Materials Report (2025), Down to Earth Consulting, LLC Phase I ESA (2022)</i></p>
<p>Endangered Species</p> <p>Endangered Species Act of 1973, particularly section 7; 50 CFR Part 402</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Site is not located within an endangered species area according to the Connecticut Natural Diversity Database or in direct proximity to a National Wildlife Refuge.</p> <p>In addition, a regulatory review has been conducted for federally listed endangered or threatened species with ranges in the area of the Site using the US Fish and Wildlife database and review process. Reviews were conducted of the Eastern Long-eared bat and the Roseate Tern. It was determined that the project will not have an effect on the listed species.</p> <p>See Appendix I for a Connecticut Natural Diversity Database map, Wildlife Refuge Map and regulatory reviews.</p> <p><i>Sources: National Diversity Database (CT ECO)</i> (https://cteco.uconn.edu/viewer/index.html?viewer=advanced)</p> <p><i>US Fish and Wildlife ECOS (Environmental Conservation Online System: Connecticut Species Reports)</i> Listed">(Listed">https://ecos.fws.gov/ecp/report/species-listings-by-state?stateAbbrev=CT&stateName=Connecticut&statusCategory>Listed)</p>
<p>Explosive and Flammable Hazards</p> <p>24 CFR Part 51 Subpart C</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>According to the HUD Explosive and Flammable Hazards Worksheet, the project is in compliance as the project is not itself the development of a hazardous facility (a facility that mainly stores, handles or processes flammable or combustible chemicals) nor does it include development, construction, rehabilitation, or conversions that will increase residential densities.</p> <p><i>Source:</i></p> <p><i>HUD worksheet for Explosive and Flammable Hazards (CEST and EA)</i></p>

<p>Farmlands Protection</p> <p>Farmland Protection Policy Act of 1981, particularly sections 1504(b) and 1541; 7 CFR Part 658</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The project is not located on prime or unique farmland.</p> <p><i>Source: Farmland Soils (CT ECO)</i> https://cteco.uconn.edu/viewer/index.html?viewer=advanced</p>
<p>Floodplain Management</p> <p>Executive Order 11988, particularly section 2(a); 24 CFR Part 55</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Site is not located within a 0.1% annual chance flood hazard zone (100-year flood plain) or a 0.2% annual chance flood hazard zone (500-year flood plain). The site is located in “Zone X” – Area of minimal flood hazard.</p> <p>The site is also not located within a storm surge area as defined by the Connecticut Sea Level Rise and Storm Surge Viewer developed at the <u>University of Connecticut</u>.</p> <p>See Appendix F for a floodplain map and a storm surge map.</p> <p><i>Sources: FEMA FIRMette</i> https://msc.fema.gov/portal/home</p> <p><i>Connecticut Institute for Resilience & Climate Adaptation (CIRCA): Connecticut Sea Level Rise and Storm Surge Viewer</i> https://circa.uconn.edu/sea-level-rise-and-storm-surge-viewer/</p>
<p>Historic Preservation</p> <p>National Historic Preservation Act of 1966, particularly sections 106 and 110; 36 CFR Part 800</p>	<p>Yes No <input checked="" type="checkbox"/> <input type="checkbox"/></p>	<p>The property located at 1085 Main Street, the former F. W. Woolworth Company (1945/1946, Art Deco; Earl S. Glover, Architect), is located within the National Register of Historic Places listed Bridgeport Downtown North Historic District. The property is currently being considered as a contributing resource to a new, single downtown Bridgeport Historic District.</p> <p>The project must follow the guidelines set forth by the State Historic Preservation Office which include the following:</p> <ul style="list-style-type: none"> • The fenestration pattern on the ground level should continue to match the historic storefront configuration. Interior areas that require opaque exteriors should be sited to take advantage of existing walls

- The interior stairs (2) leading from the main floor to the basement level should be retained and repaired, including wood veneer. Where retention is not possible, effort should be made to replace in kind
- Exterior chrome trim around the canopy should be retained and repaired;
- Cleaning and repair of exterior terra cotta should be carefully evaluated, with recommendations for treatment, with mock ups, submitted to SHPO for review and comment.

Though no groundbreaking activities are being planned, just in case of need for minor excavation to install utility hookups, a letter was sent by the Department of Housing to tribal offices that have interests in the area.

A response was received from Jeffrey Bendremer, Ph.D., RPA of the Stockbridge-Munsee Community Tribal Historic Preservation Office (THPO). The THPO had standard stipulations for the project including that if previously undocumented archaeological resources are encountered, to contact them promptly and follow the Inadvertent Discovery Policy on their website, to give due attention to the incidental or routine movement of heavy machinery that may cause unintended impacts to cultural resources, and should the scope of work be altered, to notify the Tribe.

See Appendix K for a historic district map, the SHPO determination letter and a sample Tribal Historic Preservation Letter and the response letter received from the Stockbridge-Munsee THPO.

City of Bridgeport Historic Districts Map
[\(https://portal.ct.gov/-/media/CSC/3_Petitions-medialibrary/Petitions_MediaLibrary/MediaPetitionNos1401-1410/PE1406A/ProveySubmissions/PE1406A-20210528-ProveyResponsestoCSC2and9-Map-of-Historic-Districts.pdf\)](https://portal.ct.gov/-/media/CSC/3_Petitions-medialibrary/Petitions_MediaLibrary/MediaPetitionNos1401-1410/PE1406A/ProveySubmissions/PE1406A-20210528-ProveyResponsestoCSC2and9-Map-of-Historic-Districts.pdf)

		<p><i>State Historic Preservation Office Letter re: The Bridge on Main dated August 31, 2023</i></p> <p><i>HUD Tribal Directory Assessment Tool (TDAT) (https://egis.hud.gov/tdat/)</i></p>
<p>Noise Abatement and Control</p> <p>Noise Control Act of 1972, as amended by the Quiet Communities Act of 1978; 24 CFR Part 51 Subpart B</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Site is not located within 1,000 feet from a major roadway. The Site is located within 750 feet of the Metro North and Amtrak railroad tracks and within 3 miles of Igor Sikorsky Memorial Airport, an FAA-regulated airfield.</p> <p>A 24-hour Day/Night Noise Level Electronic Assessment Tool (DNL Calculator) was used to assess the impact of the railroad on the ambient noise level of the Site. A noise map for the Sikorsky Airport was located that indicates that the noise of the airport does not contribute to ambient noise levels beyond approximately the airport boundary. The DNL for the Site was calculated to be 59 dB, which is an acceptable level of ambient exterior noise according to HUD guidelines. No further action is required regarding sound attenuation.</p> <p>See Appendix L for distance maps, the airport noise map and the HUD day/night noise calculator results.</p> <p><i>Sources: Google Maps 2024, (https://www.google.com/maps)</i></p> <p><i>HUD Day/Night Noise Level Assessment (https://www.hudexchange.info/programs/environmental-review/dnl-calculator/)</i></p> <p><i>Metro-North Railroad Train Schedules 2025 (https://new.mta.info/document/124231)</i></p>
<p>Sole Source Aquifers</p> <p>Safe Drinking Water Act of 1974, as amended, particularly section 1424(e); 40 CFR Part 149</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Site is not located within a sole source aquifer.</p> <p>See Appendix M for a map of the Site in relation to sole source aquifers.</p> <p><i>Source: Aquifer Protection Areas (CT ECO) (https://cteco.uconn.edu/viewer/index.html?viewer=advanced)</i></p>
<p>Wetlands Protection</p>	<p>Yes No</p> <p><input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>There are no wetlands on or adjacent to the Site. The nearest wetland is approximately</p>

<p>Executive Order 11990, particularly sections 2 and 5</p>		<p>840 feet from the site, known as the Pequonnock River. The project does not involve construction activities such as draining, dredging, channelizing, filling, diking, impounding, or related activities that would affect the integrity of the wetland.</p> <p>See Appendix N for a wetlands map.</p> <p><i>Source: National Wetlands Inventory</i> (https://fwsprimary.wim.usgs.gov/wetlands/apps/wetlands-mapper/)</p>
<p>Wild and Scenic Rivers</p> <p>Wild and Scenic Rivers Act of 1968, particularly section 7(b) and (c)</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>The Site is not located within proximity to any rivers designated Wild and Scenic.</p> <p>See Appendix O for a map of the Site in relation to Connecticut’s Wild and Scenic Rivers.</p> <p><i>Source: National Wild and Scenic Rivers System: Connecticut</i> (https://www.rivers.gov/connecticut)</p>
<p>ENVIRONMENTAL JUSTICE</p>		
<p>Environmental Justice</p> <p>Executive Order 12898</p>	<p>Yes No <input type="checkbox"/> <input checked="" type="checkbox"/></p>	<p>Based on the 2023 American Community Survey conducted by the U.S. Census Bureau, the project is located in a Distressed Municipality. The project is located within Environmental Justice (EJ) Block Group 2, Census Tract 706 in Fairfield County, Connecticut. This community has a 82% minority population with 58% living 200% below the federal poverty level.</p> <p>The Project will generally benefit this community by providing quality social and economic rehabilitation programs to low-income residents.</p> <p>See Appendix P for an EJ map.</p> <p><i>Source: Connecticut Environmental Justice Communities (CT DEEP)</i> (https://ctdeep.maps.arcgis.com/apps/webappviewer/index.html?id=d04ec429d0a4477b9526689dc7809ffe)</p>

Environmental Assessment Factors [24 CFR 58.40; Ref. 40 CFR 1508.8 &1508.27] Recorded below is the qualitative and quantitative significance of the effects of the proposal on the character, features and

resources of the project area. Each factor has been evaluated and documented, as appropriate and in proportion to its relevance to the proposed action. Verifiable source documentation has been provided and described in support of each determination, as appropriate. Credible, traceable and supportive source documentation for each authority has been provided. Where applicable, the necessary reviews or consultations have been completed and applicable permits of approvals have been obtained or noted. Citations, dates/names/titles of contacts, and page references are clear. Additional documentation is attached, as appropriate. **All conditions, attenuation or mitigation measures have been clearly identified.**

Impact Codes: Use an impact code from the following list to make the determination of impact for each factor.

- (1) Minor beneficial impact
- (2) No impact anticipated
- (3) Minor Adverse Impact – May require mitigation
- (4) Significant or potentially significant impact requiring avoidance or modification which may require an Environmental Impact Statement

Environmental Assessment Factor	Impact Code	Impact Evaluation
LAND DEVELOPMENT		
Conformance with Plans / Compatible Land Use and Zoning / Scale and Urban Design	1	<p>This project and adjacent parcels are located entirely within the city limits in the DX1 (Downtown Core) zone. This urban zone is intended for the highest intensity of activity downtown, where mixed-use buildings include ground-floor storefronts and upper story offices, residential, and other commercial uses. The project goals are a good fit for the zoning designation which would allow for the proposed mixed-use office space, exhibition/event space, programming space and a storefront café. See Appendix Q for a zoning map of the area.</p> <p>The project also meets the goals of the Downtown NRZ Plan by restoring a blighted building in the heart of the downtown area and transforming it into a vibrant cultural, social and educational resource.</p> <p>Modifications to the exterior of the building will be minimal and will, therefore, have no impact on the scale of the building in relation to its surroundings. The design of the exterior improvements will be consistent with the findings of SHPO and will thus be in concert with the surrounding Bridgeport Downtown North Historic District.</p> <p><i>Source: City of Bridgeport Zoning Map (https://portal.ct.gov/-/media/csc/1_docketsmedialibrary/1_media_do500_600/do516/applicantsubmissions/application/ui--city-of-bridgeport-zoning-map-effective-january-1-2022.pdf)</i></p>

<p>Soil Suitability/ Slope/ Erosion/ Drainage/ Storm Water Runoff</p>	<p>2</p>	<p>The Site elevation is approximately 37 feet above mean sea level. The entire Site is covered by the building footprint and the site has no noticeable slope. See Appendix A for a CT ECO topographical map of the project area.</p> <p>There are no unique geological features at the site location; the site surficial materials consist of urban impacted soils, with no adjacent farmland soils or agricultural lands of importance, according to CT ECO.</p> <p>The project will not affect soils, as it is composed of interior and façade renovation only. If soil must be disturbed to perform minor utility connections, it is understood that this is a de minimis condition and will not require a stormwater protection plan or soil management plan.</p> <p>Please see Appendix R for a United States Geological Survey (USGS) soil analysis of the project area.</p> <p><i>USGS Web Soil Survey</i> https://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx</p>
<p>Hazards and Nuisances including Site Safety and Noise</p>	<p>3</p>	<p>Toxic, hazardous or radioactive substances will not be produced or stored on site, with the exception of grease from grease traps which may be installed in conjunction with the commercial kitchen and café. According to the manufacturer’s directions, the oil/water separators would be cleaned out periodically by a specialty service for proper disposal so that no release of these substances occurs to local waterways.</p> <p><u>Hazardous Building Materials Investigation:</u></p> <p>A Hazardous Building Materials Investigation (HBMI) was conducted in January of 2025 by Freeman to evaluate the presence of asbestos, lead paint, potential for PCBs and Universal Waste. Asbestos was found in remnant flooring, remnant sheetrock systems, and roofing materials. Lead paint was found in limited areas, including glazed wall block associated with bathrooms and stairways. The material passed a Total Characteristic Leaching Procedure (TCLP) test and may therefore be disposed of as general construction waste, though worker protections are still warranted pursuant to Occupational Safety and Health Administration (OSHA) regulations. PCBs will not be sampled but assumed for flooring mastics, older paints with plaster substrate, roofing materials, and caulks for the purposes of waste characterization. All hazardous materials will be removed or abated in accordance with federal, state and local regulations.</p> <p><u>Phase I Environmental Site Assessment:</u></p>

An environmental investigation was conducted at the property in October 2022 by Down to Earth Consulting LLC, and in January 2025 by Freeman Companies.

Down to Earth Consulting LLC discovered the boiler system was once heated with fuel oil. The bulk storage of oil was believed to have been in a vault located adjacent to the boiler room and under the sidewalk. No records of its installation or removal were discovered. Minor staining was observed in two locations in the vault; on the wall in an area presumed to have been above the former storage tank and another on the floor at the fall wall of the vault. Staining is presumed to have been from overfilling and/or removal activities and has been identified as a de minimis condition. They identified no Recognized Environmental Conditions (RECSs), and no further action was warranted.

Freeman Companies did not identify any RECs, CRECs, HRECs, or AOCs in the January 2025 Phase I ESA. There was one de minimus condition identified, which was slight staining in the southwest corner of the vault, which is located to the south-southwest of the basement. The previous Phase I report by Down to Earth Consulting, LLC observed minor staining in two locations in the vault. They presumed it was due to overfilling and/or removal activities from a former fuel oil storage tank. However, there is no evidence that a former storage tank was located in the vault. There were no records provided or available regarding the presence of a tank, and there were no visible fill or vent pipes, or fuel supply lines normally associated with an oil tank.

Site Safety:

As there is a current problem with building design leading to unsafe and unsanitary conditions, remodeling of existing interior and exterior structures and materials will improve site safety and health concerns, while improving the aesthetics of the area and vitality to the neighborhood.

Ambient Noise:

A noise calculation was done using the HUD day/night noise calculator tool to evaluate the impact of the nearby railroad on the Site. The airport was ruled out as a source of ambient noise based on a noise map provided by airport authorities. It was found that the average exterior ambient noise is approximately 59 dB, which is acceptable according to HUD guidelines. Interior noise levels are predicted to be less than the exterior levels.

Environmental Assessment Factor	Impact Code	Impact Evaluation
SOCIOECONOMIC		

Employment and Income Patterns	1	<p>The programmatic elements of the Bridge project work to lift their target population, which is composed largely of minority and low-income individuals, out of poverty, by providing services, such as affordable mental and physical health care, affordable housing, removing language barriers, and access to jobs to create financial independence.</p> <p>The project’s impact will extend greatly beyond creating short-term construction jobs for the remodeling of the building. The Bridge will enhance the current economic environment and foster the growth and prosperity of citizens returning from incarceration and other system-impacted individuals. The project will be a vital resource in improving employment and income patterns by providing important services to their target population. This isn’t just limited to access to jobs to create financial independence, but extends out to affordable housing, affordable mental and physical health care, and removing language barriers. With these services provided, partnered with critical workforce support, the Bridge will address these barriers to employment and economic equity head-on.</p>
Demographic Character Changes, Displacement	1	<p>Demographic character change in the Greater Bridgeport Area will be spurred on by the programmatic elements of the project. The program is focused on lifting people out of poverty, reducing language barriers, eliminating homelessness, and creating employment opportunities. The project will encourage financial independence among participants, leading to greater ability to use forms of transportation, such as the automobile, that have more flexibility, greater range and greater convenience, enabling participants to be more flexible in their search for employment.</p> <p>No persons will be displaced by the project as the building to be remodeled is currently vacant.</p>
Environmental Justice	1	<p>Executive Order (E.O.) 12898 - Federal Actions to Address Environmental Justice in Minority Populations and Low-Income Populations purpose is to focus federal attention on the environmental and human health effects of federal actions on minority and low-income populations with the goal of achieving environmental protection for all communities. The programmatic elements of the Bridge project work to lift their target population, which is composed largely of minority and low-income individuals, out of poverty, by providing services, such as affordable</p>

		mental and physical health care, affordable housing, removing language barriers, and access to jobs to create financial independence. All these elements work together to mitigate the effects of systemic impacts of environmental injustice.
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Environmental Assessment Factor	Impact Code	Impact Evaluation
COMMUNITY FACILITIES AND SERVICES		
Educational and Cultural Facilities	2	The project is located within a few miles of Roosevelt Elementary School, Columbus Elementary School, and the University of Bridgeport. The proposed project is not expected to result in a significant increase in the number of school-aged children within the City of Bridgeport. The project will likely benefit from proximity to these educational and cultural resources but will not over-utilize them. Overall, no major changes are expected to occur to surrounding educational and cultural facilities.
Commercial Facilities	1	<p>The primary businesses that will directly benefit from the proposed project include over 10 local non-profit organizations and public-private partnership ventures, representing more than 120 employees that currently serve as programmatic partners to CRI. Many of these partners will set up satellite offices and provide services directly from the Bridge on Main site building. In addition, there may be rental space available for start-up businesses on the upper floors of the building.</p> <p>Bridge on Main will indirectly contribute to the revitalization of Downtown Bridgeport by generating increased foot traffic and community and business engagement through multiple measures. A multi-purpose event space will fill a void left in the immediate neighborhood by the closure of the former Holiday Inn Ballroom. Classroom space, a rooftop garden, a public-facing coffee shop, meeting rooms, offices, and health and welfare services will draw people to the neighborhood, creating a congenial atmosphere for other small businesses to locate in the area and thrive. These spaces are dedicated to expanding and developing both the Bridge on Main and businesses in the area.</p>
Health Care and Social Services	1	Bridge on Main will serve Bridgeport's citizens returning from incarceration and other system-impacted individuals with easy and timely access to job training and placement services, in conjunction with critical workforce supports,

		<p>to address barriers to employment and economic equity. One of the main programmatic elements of this project is providing the target population with affordable mental and physical healthcare. Local partners beyond Career Resources are Yale Transitions Clinic (Optimus Health Care). They are an evidence-based program that improves the health and reentry outcomes for people returning from incarceration. The new development will have a positive impact on the residents who disproportionately represent communities of color who are often faced with significant inequity when attempting to access affordable health care and employment opportunities. Bridge on Main is not expected to over-utilize existing healthcare and social service facilities.</p>
<p>Solid Waste Disposal / Recycling</p>	<p>2</p>	<p>The amount and quantity of solid waste will be typical of an office environment of similar size and include primarily paper and packaging, in addition to food waste generated by the commercial kitchen and café. A 1992 Washington State Waste Characterization Study, Volume 3: Generator Survey Approach (Washington State Department of Ecology) estimates the amount of waste generated by the average office worker is 1.25 lbs. per day. The projected number of employees operating from the building's office space is approximately 120. Stevenson Ranch DEIR (Phase IV), LA County estimates the amount of waste generated by a restaurant or event where food is served as 1 lb. per seat per day. Therefore, the estimated total of waste generated by the project would be about 950 lbs. per week. Food waste from events and the café may be included with the waste stream or segregated and composted on-site to enhance the proposed rooftop garden.</p> <p>In addition to standard office waste, the project will generate grease in association with the commercial kitchen and café and the food service portions of the project will need grease trap equipment. This equipment will need to be cleaned out periodically, according to the specifications of the equipment manufacturer, by a specialty service and disposed of within the city's municipal waste system, so these substances will not be released into the storm/sewer system. The quantity of this type of waste is dependent on the frequency of events and the composition of the food being offered by the café, which have not yet been determined.</p> <p>Waste will be collected weekly by a private, commercial hauler, who will drop the waste at one of several private</p>

		<p>transfer stations located within the City of Bridgeport. There, recyclables will be separated and sent to a regional intermediate processing center, located in the nearby town of Stratford, as prescribed by City ordinance. Non-recyclable items will be sent to the Wheelabrator trash-to-energy plant, located in Bridgeport. The Wheelabrator facility is thirty-five years old, a few years past the average lifespan of a trash-to-energy plant according to DEEP but does not have any plans for closure in the foreseeable future.</p> <p>Solid waste generated by the renovations themselves will include asbestos and presumed PCB-containing waste as determined by the <i>Hazardous Building Materials Investigation Report by Freeman, February 2025</i>. These materials, in addition to universal waste, such as fluorescent bulbs and ballasts will be segregated from regular construction waste and will be specially disposed of in accordance with all Federal, State and Local regulations regarding special waste streams.</p>
Waste Water / Sanitary Sewers	2	<p>The Water Pollution Control Authority (WPCA) of The City of Bridgeport owns and operates two wastewater treatment plants that serve the combined sewer overflow (CSO) community, where both sanitary sewage and stormwater are carried in a single pipe. in the City of Bridgeport. The facilities have been known to be out of compliance with the Clean Water Act but are currently undergoing renovations to bring them into compliance by 2028. The improvements will reduce the high levels of nitrogen discharged into Long Island Sound and other waterways. In addition, upgrades and design improvements of the West End Wastewater Treatment Plant will increase capacity from 80 million gallons per day to 200 million gallons per day, drastically reducing the number of bypass events and combined sewer overflows each year due to heavy rainfall. These upgrades will also make it possible for the City of Bridgeport to satisfy CT DEEP requirements and ensure continuous operation of the plant while improving sustainability.</p> <p>The project will discharge approximately 3,825 gallons per day of effluent in addition to stormwater, the amount of which is highly dependent on local rainfall and a daily rate cannot be calculated efficiently. There will be no new source of loading to the City of Bridgeport storm/sewer infrastructure as a whole, since project participants and organizers are already living and working within the city.</p>

		<p>The City of Bridgeport Connecticut Department of Public Facilities Storm Water Management Manual contains the regulation that all site designs shall establish storm water management practices to control the peak flow rates of storm water discharge associated with specified design storms and reduce the generation of storm water. However, in this case, there is no open space on-site to detain the water before release into the combined storm and sewer system. As noted in the water resources section of this narrative, CRI will investigate the feasibility of harvesting the water from rooftop runoff and storing it for use over time in the rooftop community garden.</p>
Water Supply	2	<p>The water supply system for the site is administered by the Aquarion Water Company. The supply is mostly surface water drawn from a system of eight reservoirs (Aspetuck, Easton Lake, Far Mill, Hemlocks, Means Brook, Saugatuck, Trap Falls and West Pequonnock). The reservoirs supply more than 95% of the 44 million gallons per day that customers use on average. Water also is drawn from Aquarion Water Company’s Westport and Coleytown well fields. Company-wide, an average of 13.9% of the demand is water drawn for firefighting, water main cleaning, water main breaks and leaks, and unauthorized use. Supply capacity is sufficient to meet demands.</p> <p>The reservoir water is filtered at the Trap Falls water treatment plant in Shelton, at the Easton Lake plant in Easton, and at the Warner plant in Fairfield. Water from the Westport and Coleytown wells is filtered naturally underground. All the water is disinfected, fluoridated, and further treated to protect the distribution system.</p> <p>The 2022 water quality report from Aquarion maintains that the water quality is in compliance with the Safe Drinking Water Act Standards.</p> <p>Assuming that there are three floors of light use office space at approximately 275 SF for each worker, one theater/event space holding a maximum of 150 people and a separate café space serving approximately 25 people, it is projected that the project will use approximately 3,825 gallons of water per day at a maximum. These calculations were developed in accordance with the <i>Connecticut Public Health Code: On-site Sewage Disposal Regulations and Technical Standards for Subsurface Sewage Disposal Systems</i>, revised January 1, 2023. This amount of water usage does not directly or indirectly put a strain on the</p>

		current water distribution system and may be considered to have no net negative effect on the water resources of the City of Bridgeport.
Public Safety - Police, Fire and Emergency Medical	2	The project would have little effect on public safety or use of fire and emergency medical services. There may be a perceived public safety risk for the immediate project area because there would be an influx of previously incarcerated individuals. However, the goals of the project are to create resources that would enable this population to re-enter society and uplift themselves socially and economically. Therefore, the program would actually work to alleviate any threat to public safety that could potentially be associated with this population.
Parks, Open Space and Recreation	1	<p>The project will create urban open space and recreation opportunities for project participants by utilizing the rooftop as a gathering space and community garden. As the building footprint covers the entire parcel, this is a creative use of rooftop space which is currently underused in the urban setting.</p> <p>There is a small plaza across the street, associated with the courthouse, that could additionally serve as outdoor recreational space for the participants of the Bridge on Main program. Change in use or overutilization of the space is not projected to occur because the number of people visiting the Bridge on Main program will be limited.</p>
Transportation and Accessibility	2	The project is at the intersection of two of the main streets in the downtown area, Main Street and Fairfield Avenue. The location is convenient to two major highways, CT Route 8 to the west and State Highway 95 to the east. There is no on-site parking. However, there is nearby paid streetside parking, ample walking and bus and train routes along the main roads in the downtown area, and a public electric scooter service providing access to the project location. There are several parking garages located within a one to two block radius of the building. CRI is currently in conversation with owners of private parking lots within the immediate vicinity to create a bulk parking option. People attending events at the facility are expected to use diverse forms of transportation, and it is anticipated that this will not cause disruption to the current traffic patterns or parking facilities. No new traffic patterns are expected to result from this project and the transportation capacity is not projected to exceed current loading.

Environmental Assessment Factor	Impact Code	Impact Evaluation
NATURAL FEATURES		
Unique Natural Features, Water Resources	2	<p>There are no unique natural features or water resources found within the vicinity of the project. The Site building covers the entire property and the character of the area is highly urban.</p> <p>The Site is located in a GB Groundwater classification area, an area of Groundwater within a historically highly urbanized area or an area of intense industrial activity where public water supply service is typically available. Such groundwater may not be suitable for human consumption without treatment due to waste discharges, spills or leaks of chemicals or land use impacts. The adjacent Pequonnock River is classified as SB, surface water that has characteristics similar to GB classified groundwater.</p> <p>See Appendix S for a map of ground and surface water classifications.</p> <p><i>Source: Connecticut Environmental Conditions Online (CT ECO); prepared in cooperation with the University of Connecticut. Retrieved online from (http://ctecoapp1.uconn.edu/advancedviewer/.)</i></p>
Vegetation, Wildlife	2	<p>There is no native vegetation or wildlife found in the project area or in the immediate downtown area, nor are there any designated National or State Parks, Refuges or Preserves found in that area. The endangered species that may have habitats in the surrounding areas were determined not to be affected by the development using the U.S. Fish and Wildlife evaluation tools. There are no actual or proposed Wilderness Areas or Wild and Scenic Rivers in the immediate vicinity of the project area. The Stewart B. McKinney National Wildlife Refuge is located approximately 2 miles downstream from the project area and is at a distance that there should be no direct or indirect effect from the minor emissions or discharges that the proposed project would generate.</p>
Other Factors		

Environmental Assessment Factor	Impact Code	Impact Evaluation
CLIMATE AND ENERGY		

Climate Change Impacts	1	<p>There are no direct, current risks to the project due to issues related to climate change. Potential indirect, long-term risks, such as sea-level rise and flooding are, by nature, associated with residing in a coastal zone. The Site building is located in Census Tract 706, which does not meet the criteria for climate change resiliency according to the <i>Neighborhoods at Risk</i> website published by Headwaters Economics. These criteria include percent housing units that are rentals, households with no car, people who don't speak English well, properties with flood risk, area lacking tree canopy, area of impervious surface, and area in the 500-year floodplain. The programmatic value that would be provided by this project would help over the long term to mitigate the criteria indicated by the Neighborhoods at Risk site that would cause lack of climate resilience. Specifically, the first three criteria would be addressed by the program of the Bridge on Main project.</p> <p>In addition, the project will contribute to the mitigation of climate change on a carbon-footprint level, by incorporating energy-efficient design features. In particular, the planned rooftop solar array will reduce the need for relying on the energy grid and through installation of a rooftop garden and working with the City to establish more street trees, the carbon footprint of the project could be further reduced.</p>
Energy Efficiency	1	<p>The energy efficient features being included are a rooftop passive solar array, designated area for a green roof, energy efficient/high performance mechanical and electrical equipment, installing insulation in the walls and ceilings, and redundancies. The energy efficiency overall will be much improved compared to the energy efficiency of the systems present during previous building occupancy.</p>

Additional Studies Performed:

Economic Development Administration (EDA) Environmental Narrative, Freeman Companies, LLC, June 2023.

Hazardous Building Materials Investigation Report, Freeman Companies, LLC, January 2025.

Phase I ESA, Down to Earth Consulting, LLC, October 2022.

Phase I ESA, Freeman Companies, LLC, January 2025

Field Inspection (Date and completed by):

January 6, 2025, by Michelle Rudy and Charlotte Cyr of Freeman

See Appendix T for site photos.

List of Sources, Agencies and Persons Consulted [40 CFR 1508.9(b)]:

1. Christopher Landino, Chief Development Officer, Career Resources, Inc., Bridgeport, Connecticut
2. City of Bridgeport Zoning Map (https://portal.ct.gov/-/media/csc/1_dockets-medialibrary/1_media_do500_600/do516/applicantsubmissions/application/ui--city-of-bridgeport-zoning-map-effective-january-1-2022.pdf)
3. Coastal Barrier Resource System Map, U.S. Fish & Wildlife Service (<https://fwsprimary.wim.usgs.gov/CBRSMapper-v2/>)
4. Connecticut Airport Map (<https://www.connecticut-map.org/airports.htm>)
5. Connecticut Coastal Zone Management Map (<https://ct-deep-gis-open-data-website-ctdeep.hub.arcgis.com/datasets/coastal-boundary/explore?location=41.165572%2C-73.194028%2C15.98>)
6. Connecticut Commission on Culture and Tourism, Historic Preservation & Museum Division (State Historic Preservation Office – SHPO) (<https://portal.ct.gov/DECD/Services/Historic-Preservation>)
7. Connecticut Department of Economic and Community Development list of Environmental Justice Communities (http://www.ct.gov/deep/cwp/view.asp?a=2688&Q=432364&deepNav_GID=1511)
8. Connecticut Department of Energy and Environmental Protection (CT DEEP) (<https://portal.ct.gov/DEEP>)
9. Connecticut Department of Housing (CTDOH) (<https://portal.ct.gov/doh>)
10. Connecticut Environmental Conditions Online (CT ECO); prepared in cooperation with the University of Connecticut. Retrieved online from (<http://ctecoapp1.uconn.edu/advancedviewer/>.)
11. Connecticut Institute for Resilience & Climate Adaptation (CIRCA): Connecticut Sea Level Rise and Storm Surge Viewer (<https://circa.uconn.edu/sea-level-rise-and-storm-surge-viewer/>)
12. Downtown NRZ Plan, Bridgeport, Connecticut, June 2007.

https://www.bridgeportct.gov/sites/default/files/2023-04/06012007_Planning_Downtown_Plan.pdf)

13. Federal Emergency Management Agency (<https://msc.fema.gov>)
14. Google Maps 2024 (<https://www.google.com/maps>)
15. Joshua Helms, Field Development Officer, Office of Environment and Energy, U.S. Department of Housing and Urban Development, Boston, MA
16. Mary Murano, Development Manager, Career Resources, Inc., Bridgeport, Connecticut
17. Miguel Rivera, Office of Housing and Community Development, Manager, Department of Housing, Hartford, Connecticut
18. National Cooperative Soil Survey (NCRS) Web Soil Survey (<https://websoilsurvey.nrcs.usda.gov/app/>)
19. National Register of Historic Places Database (<https://www.nps.gov/subjects/nationalregister/database-research.htm#table>)
20. NEPAssist Mapping Tool (<https://nepassisttool.epa.gov/nepassist/nepamap.aspx>)
21. Thaddeus Stewart, Architect, Integrated Design and Construction, LLC, New Haven, Connecticut
22. United States Department of Housing and Urban Development (HUD) (<http://portal.hud.gov/hudportal/HUD>)
23. United States Environmental Protection Agency (EPA) (http://www.epa.gov/region1/eco/drinkwater/pc_solesource_aquifer.html) (<http://www2.epa.gov/ejscreen>) (http://www.epa.gov/region1/topics/air/sips/sips_ct.html) (http://www.fws.gov/newengland/EndangeredSpecConsultation_Project_Review.htm)
24. United States Fish and Wildlife Service (<https://www.fws.gov/>)
25. USA National Wild and Scenic Rivers (<http://www.rivers.gov/>)
26. USGS Web Soil Survey (<https://websoilsurvey.nrcs.usda.gov/app/WebSoilSurvey.aspx>)

List of Permits Obtained:

Grease Trap Permit

Phase I – Interior Alterations & Removals

Phase II – General Alterations & Renovations

Public Outreach [24 CFR 50.23 & 58.43]:

On January 31, 2023, a bipartisan group of legislators and other dignitaries gathered at the site of the future Bridge on Main to take a tour of the facility and show their support for the venture. Lieutenant Governor Susan Bysiewicz, State Senator Tony Hwang, philanthropic partner Mimi Sternlicht and Scott Wildman, Career Resources President and CEO and others were the subject of a press release which sparked numerous articles about the venture including:

- Hearst Connecticut Media Editorial Board. February 1, 2023. Editorial: Help for ex-prisoners benefits everyone. *CTpost. Stamford Advocate.*
- Andy Tsubasa Field. January 31, 2023. Bridgeport center planned as reintegration point for formerly incarcerated residents. *CTpost.*
- Liese Klein. February 17, 2023. Webster teams with Bridgeport workforce nonprofit on \$750K resource center. *NewHavenBiz.*
- Phil Hall. February 15, 2023. New workforce training initiative planned for Bridgeport. *Westchester & Fairfield County Business Journals.*

The Bridge on Main Project has also received widespread support from state and local government officials, community organizations and associations, and corporations including a list which may be found in Attachment C18.1.

In addition to endorsements, CRI has received financial support from a number of sources. Philanthropist Mimi Sternlicht, Webster Bank and the recently awarded grant from the Community Investment Fund (CIF) have shown that interest in the project is solid.

A formal public hearing has not yet been held, but it is anticipated that there will not be strenuous public objection to the project.

Cumulative Impact Analysis [24 CFR 58.32]:

Projects related to the current project, as described in the section on beneficiaries, will have a positive cumulative impact on the socio-economic structure of the immediate neighborhood and a larger indirect effect on the socio-economic composition of the entire City of Bridgeport. Project goals include efforts to represent communities who are system-impacted, particularly communities of color who are often faced with significant barriers when attempting to access employment opportunities. These barriers include, but are not limited to, basic skills deficiencies, housing insecurity, substance abuse, mental health, and medical issues. These barriers are also the same barriers that make communities susceptible to environmental inequity, such as lack of climate change resilience and lack of housing options in areas which are conducive to health and well-being. The project is all about mitigating these challenges in the local downtown community and in the greater community of the City of Bridgeport, to create a positive cumulative outcome in overcoming environmental injustice.

No specific major projects in the downtown area have been identified which could result in significant cumulative impacts when considered in aggregate with the proposed EDA project. According to the CTpost article, *Few interested in developing key downtown sites in Bridgeport*

by Brian Lockhart, dated August 15, 2022, the City is having sparse responses to its requests for proposals to develop City-owned vacant historic properties in the immediate area of the Bridge on Main project. Also according to the article, only a handful of residential developments and several new businesses, such as the Stress Factory comedy club and Berlinetta brewery, have opened in the past several years. However, the goals of the City of Bridgeport Plan of Conservation and Development remain to continue improvements aimed at revitalizing the downtown district. The Plan also highlights the maintenance of a labor force that can support the growth of new businesses and industries in the city. The Bridge on Main project would meet both goals, helping to fill the void in the Downtown Bridgeport area with the revitalization of a historic building that has been vacant for ten years, and with programmatic goals aimed at improving the City's workforce. It is projected that as the project draws new life to the existing downtown, other businesses will open in the immediate area and there will be a cumulative net positive effect on the vitality and economy of Downtown Bridgeport.

Although this project will not create a net effect on the discharge of stormwater and sewage effluent into the existing infrastructure, cumulatively, the cumulative flow of water from entire neighborhoods in Bridgeport is known to exceed the capacity of the system during periods of heavy rainfall, causing discharge to surface water bodies. As noted in the sections on water resources and wastewater collection, CRI will investigate the feasibility of harvesting rooftop water to store for release over time to the proposed rooftop community garden as a means of mitigating these cumulative negative effects.

Alternatives [24 CFR 58.40(e); 40 CFR 1508.9]

The project building was selected, primarily, because of its location, size and zoning all being amenable to the project vision. All elements identified in the Need and Purpose summary are considered essential to the project program and no alternatives were considered in the selection and design process.

If alternate buildings could be found outside the downtown area, for example, the opportunity for public transportation to connect to the building wouldn't be as convenient; however, there could be more car parking spaces available at such a venue. In general, it is better to have diverse types of transportation connections than to have more car parking, encouraging more sustainable city living. Also, the clients coming to the center may not have cars, being newly released from incarceration and so an alternative location outside of the downtown area would be less accessible for those who need the programs.

No Action Alternative [24 CFR 58.40(e)]:

If the project were to not be implemented, many previously incarcerated individuals as well as system-impacted individuals would not have any resources available to successfully integrate back into society. This would potentially lead to relapse and further incidence of criminal behavior. People returning from incarceration could become mentally and physically unstable, without the proper treatment, which the Bridge on Main program would assist in providing. Language barriers would have no chance at being remedied and other educational resources, such as support for getting a GED or college education would not be able to be accessed.

The building would remain blighted and unused in an area that is designated for revitalization projects according to the Bridgeport Downtown Neighborhood Revitalization Plan. This will only decrease site safety and encourage criminal activity in the immediate vicinity of the Site building.

Summary of Findings and Conclusions:

In summary, the economic and community benefits of this project are many and have the potential to uplift the neighborhood, surrounding community and help the greater Bridgeport population of previously incarcerated individuals re-enter society in a beneficial way.

There should be few to no impacts on the natural environment, as the project is mostly composed of interior renovations to a previously existing building in a highly urbanized area with no unusual or significant natural features.

There may be some concern with hazardous building materials, solid waste emissions and rainwater runoff, all of which have the potential to be remedied by abatement, grease traps, composting and water harvesting, respectively. Since the only concerns with the project can be easily remedied, a conclusion of a finding of no significant impact is in order.

Mitigation Measures and Conditions [40 CFR 1505.2(c)]

Summarize below all mitigation measures adopted by the Responsible Entity to reduce, avoid, or eliminate adverse environmental impacts and to avoid non-compliance or non-conformance with the above-listed authorities and factors. These measures/conditions must be incorporated into project contracts, development agreements, and other relevant documents. The staff responsible for implementing and monitoring mitigation measures should be clearly identified in the mitigation plan.

Law, Authority, or Factor	Mitigation Measure
Historic Preservation	<p>The project is located in a National Historic District and renovations have been determined to have an impact on the cultural and historic resources of the neighborhood. To remedy this situation, SHPO has been notified and made recommendations that must be followed in order to proceed with the project.</p> <p>The project must follow the guidelines set forth by the State Historic Preservation Office which include the following:</p> <ul style="list-style-type: none"> • The fenestration pattern on the ground level should continue to match the historic storefront configuration. Interior areas that require opaque exteriors should be sited to take advantage of existing walls • The interior stairs (2) leading from the main floor to the basement level should be retained and repaired, including wood veneer. Where retention is not possible, effort should be made to replace in kind

	<ul style="list-style-type: none">• Exterior chrome trim around the canopy should be retained and repaired;• Cleaning and repair of exterior terra cotta should be carefully evaluated, with recommendations for treatment, with mock ups, submitted to SHPO for review and comment. <p>The architectural team has adjusted their plans to conform with the recommendations of SHPO.</p> <p>In addition, the Stockbridge-Munsee Community THPO had standard stipulations that must be followed for the project including that if previously undocumented archaeological resources are encountered, to contact them promptly and follow the Inadvertent Discovery Policy on their website, to give due attention to the incidental or routine movement of heavy machinery that may cause unintended impacts to cultural resources, and should the scope of work be altered, to notify the Tribe.</p>
Contamination and Toxic Substances	<p>A Hazardous Building Materials Investigation (HBMI) was conducted in January of 2025 by Freeman to evaluate the presence of asbestos, lead paint, potential for PCBs and Universal Waste. Asbestos was found in remnant flooring, remnant sheetrock systems, and roofing materials. Lead paint was found in limited areas, including glazed wall block associated with bathrooms and stairways. The material passed a Total Characteristic Leaching Procedure (TCLP) test and may therefore be disposed of as general construction waste, though worker protections are still warranted pursuant to Occupational Safety and Health Administration (OSHA) regulations. PCBs will not be sampled but assumed for flooring mastics, older paints with plaster substrate, roofing materials, and caulks for the purposes of waste characterization. All hazardous materials will be removed or abated in accordance with federal, state and local regulations.</p>

This original, signed document and related supporting material must be retained on file by the Responsible Entity in an Environmental Review Record (ERR) for the activity/project (ref: 24 CFR Part 58.38) and in accordance with recordkeeping requirements for the HUD program(s).

Appendix A



FREEMAN COMPANIES

LAND DEVELOPMENT • ENVIRONMENTAL DESIGN • CONSTRUCTION SERVICES
 36 JOHN STREET
 HARTFORD, CT 06106
 WWW.FREEMANCOS.COM
 TEL: (860) 251-9550
 FAX: (860) 986-7161
 ELEVATE YOUR EXPECTATIONS

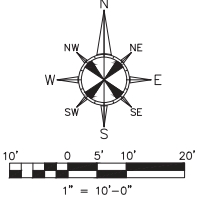
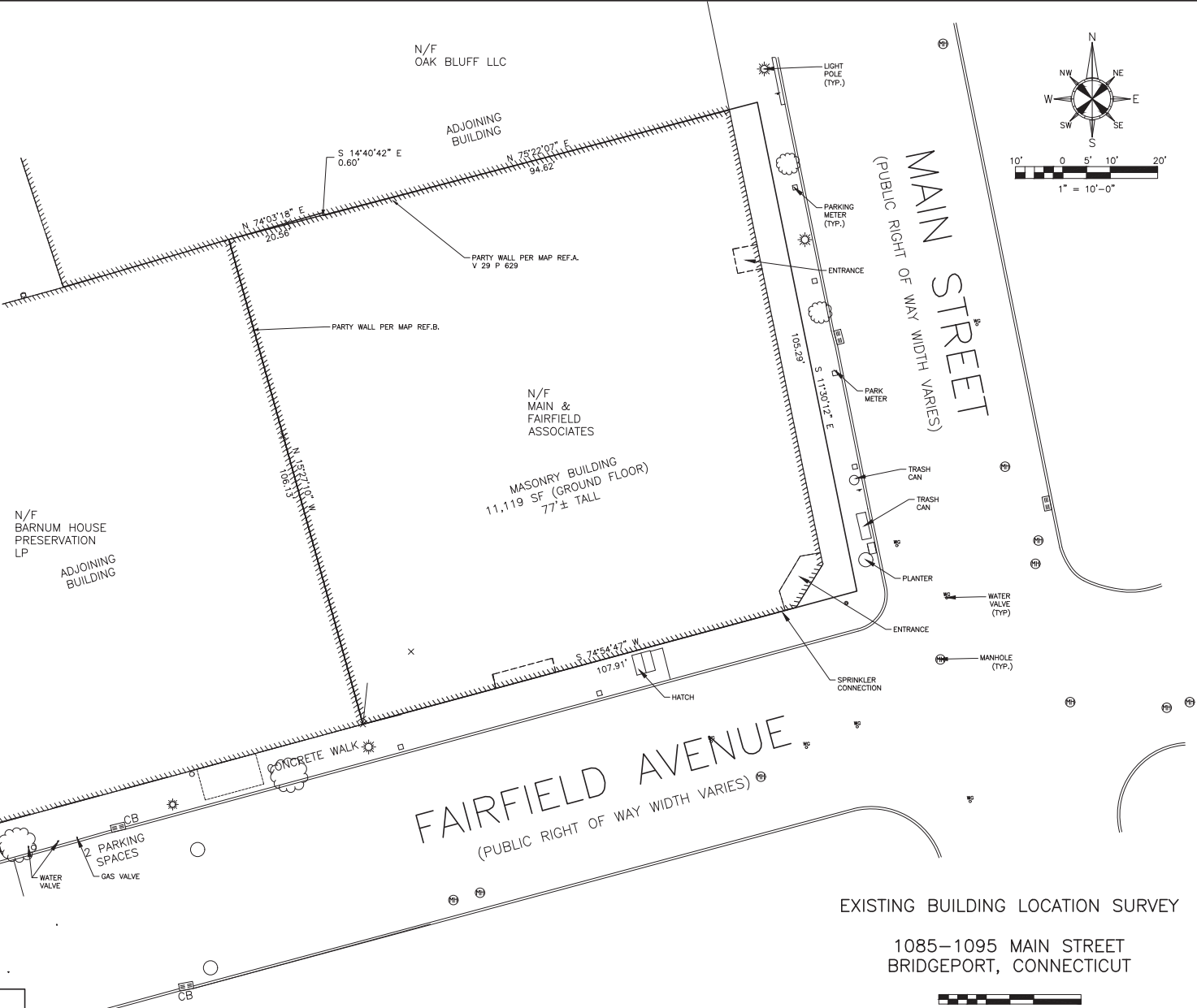
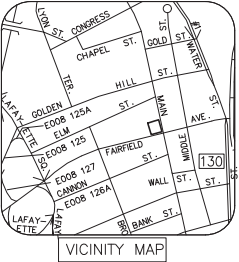
SITE OVERVIEW
THE BRIDGE ON MAIN
 1085 MAIN STREET
 BRIDGEPORT, CONNECTICUT



NORTH
 NOT TO SCALE

NOTES:
 1. THIS SURVEY AND MAP HAS BEEN PREPARED IN ACCORDANCE WITH THE SECTIONS 20-300B-1 THROUGH 20-300B-20 OF THE REGULATIONS OF CONNECTICUT STATE AGENCIES - "MINIMUM STANDARDS FOR SURVEY AND MAPS IN THE STATE OF CONNECTICUT" AS ENDORSED BY THE CONNECTICUT ASSOCIATION OF LAND SURVEYORS, INC. IT IS AN IMPROVEMENT LOCATION SURVEY BASED UPON A DEPENDENT RESURVEY AND CONFORMS TO HORIZONTAL ACCURACY CLASS A-2.

2. FOR REFERENCE SEE MAPS ENTITLED:
 A. "AS-BUILT SURVEY PREPARED FOR BHV I OWNER LLC 1115 & 1130 MAIN STREET AND 1105 MAIN STREET" PREPARED BY CADEZAS & DEANGLIS, 03/15/17 ON FILE IN V05 P208 OF THE BRIDGEPORT LAND RECORDS
 B. "TITLE SURVEY OF PROPERTY FOR THE NATIONAL HOLDING COMPANY" 03/22/1930; PREPARED BY A.D. FULLER ON FILE AS V.11 P.62
 C. "MAP OF PROPERTY IN BRIDGEPORT, CONN. FOR METROPOLITAN BANK AND TRUST COMPANY" MAY. 7, 1973; SCALE 1"=20' ON FILE AS V. 38, P.14
 D. PIN SHEET 916 ON FILE IN THE BRIDGEPORT ENGINEERING DEPARTMENT
3. SYMBOL SIZE ARE NOT TO SCALE.
4. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
5. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES MADE AVAILABLE TO THE SURVEYOR BY THE CONTROLLING JURISDICTION. NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION IMPROVEMENTS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
6. THE PROPERTY HAS ACCESS TO MAINS STREET AND FAIRFIELD AVENUE
7. BEARINGS BASED ON REFERENCE MAPS.
8. NO WETLANDS FLAGS WERE OBSERVED WHILE COMPLETING THE FIELD SURVEY
9. PARCEL AREA: 11,781 S.F.
10. NO OBSERVABLE EVIDENCE OF SITE BEING USED AS A SOLID WASTE DUMP, SLUMP OR SANITARY LANDFILL
11. NO OBSERVABLE EVIDENCE OF THE SITE BEING USED AS A CEMETERY, ISOLATED GRAVE, SITE OR BURIAL GROUNDS.
12. A FIELD SURVEY WAS NOT CONDUCTED TO DETERMINE THE FLOOD ZONE AREAS. ANY FLOOD ZONE LINES DISTINGUISHING BETWEEN FLOOD AREAS ARE GRAPHICALLY PLOTTED FROM FEMA FLOOD INSURANCE RATE MAPS (FIRM). A FLOOD ELEVATION CERTIFICATE MAY BE NEEDED TO DETERMINE OR VERIFY THE LOCATION OF THE FLOOD AREAS. THE SUBJECT PROPERTY'S COMMUNITY ZONE PARTICIPATES IN THE PROGRAM. IT IS DETERMINED THAT THE SUBJECT PROPERTY RESIDES IN THE FOLLOWING FLOOD ZONE(S) X AS DETERMINED BY OR SHOWN BY FIRM COMMUNITY PANEL NO.00901004376, REV. 07/08/2013.



TO: THE BRIDGE ON MAIN, LLC
 I HEREBY CERTIFY THAT THIS SURVEY WAS ACTUALLY MADE UPON THE GROUND ON 10-09-22 AND (A) THAT THIS SURVEY AND THE BOUNDS AND MEASUREMENTS SHOWN HEREON ARE CORRECT WITHIN THE STANDARDS OF CLASS A-2 OF THE CODE OF RECOMMENDED PRACTICE FOR ACCURACY OF SURVEYS AND MAPS (THE TITLE LINES AND LINES OF ACTUAL POSSESSION ARE THE SAME), (C) ALL BUILDINGS AND IMPROVEMENTS ARE LOCATED AS SHOWN AND ERRECTED ENTIRELY WITHIN THE PROPERTY LINES (D) THERE ARE NO UTILITY OR OTHER EASEMENTS OR RIGHTS OF WAY AFFECTING THIS PROPERTY OTHER THAN THOSE SHOWN HEREON, (E) THERE ARE NO ENCROACHMENTS OR PROJECTIONS ON OR OVER THE PROPERTY OR ON RIGHTS OF WAY OR EASEMENTS APPURTENANT TO THE SAME BY BUILDINGS OR IMPROVEMENTS ERRECTED ON ADJACENT LANDS.

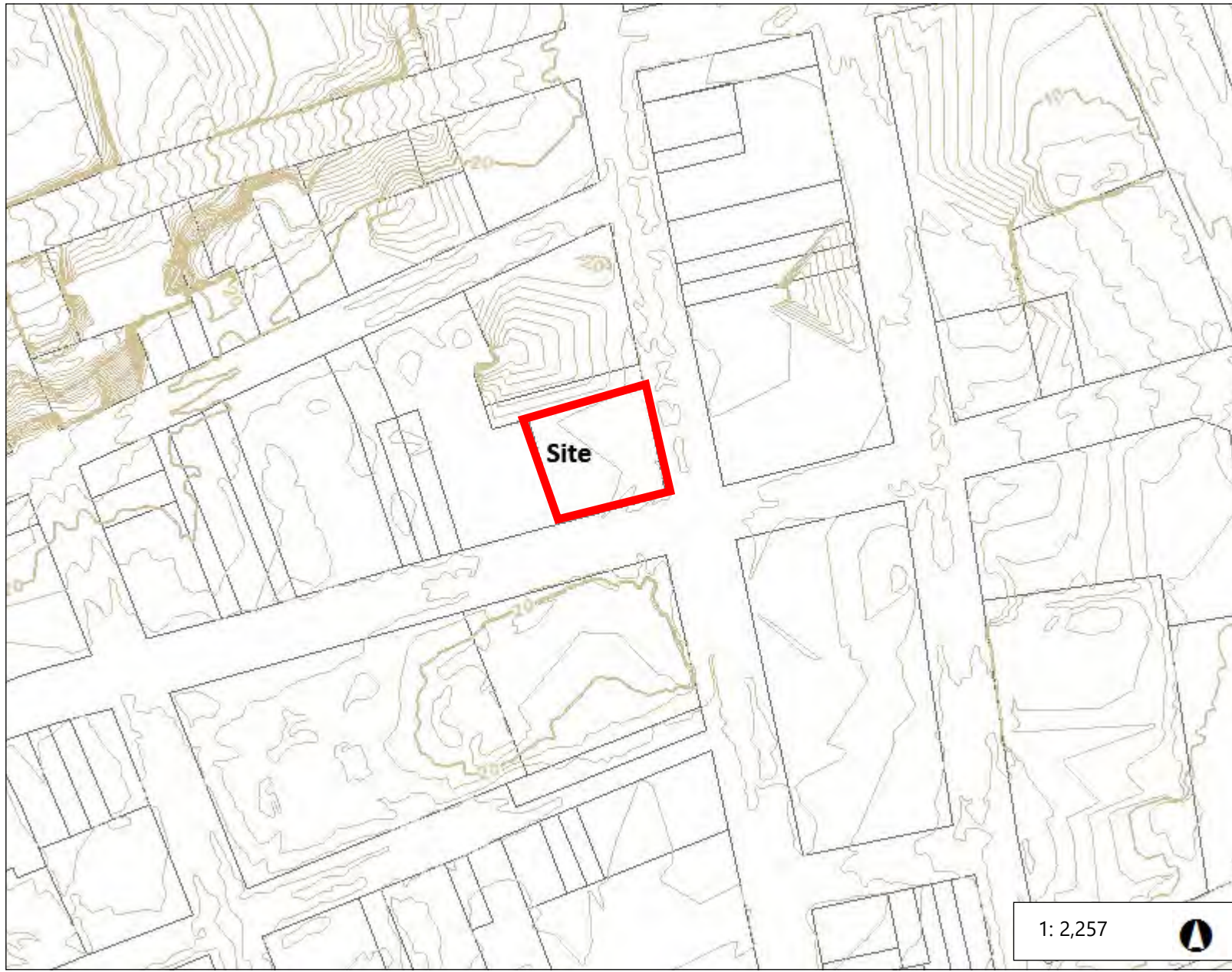
TO MY KNOWLEDGE AND BELIEF, THIS MAP IS SUBSTANTIALLY CORRECT AS NOTED HEREON.
 THIS MAP IS NOT VALID UNLESS EMBOSSED WITH THE SEAL OR AFFIXED WITH THE LIVE STAMP OF THE SIGNATORY.

J. EDWARDS & ASSOCIATES, LLC
 Engineering and Surveying
 227 Steeple Road
 Easton, CT 06812
 (203)-268-4200
 www.jedwardsassoc.com




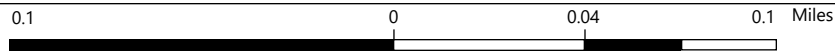
EXISTING BUILDING LOCATION SURVEY
 1085-1095 MAIN STREET
 BRIDGEPORT, CONNECTICUT

SCALE 1"=10' OCTOBER 9, 2022



Legend
Light Gray Canvas Base

1: 2,257 



This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Notes

Appendix B

1085 MAIN ST #1095

Location 1085 MAIN ST #1095

Mblu 35/ 916/ 12/ /

Acct# R--0111480

Owner BRIDGE ON MAIN LLC THE

Assessment \$898,760

Appraisal \$1,283,940

PID 6042

Building Count 1

Current Value

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$988,570	\$295,370	\$1,283,940

Assessment			
Valuation Year	Improvements	Land	Total
2022	\$692,000	\$206,760	\$898,760

Owner of Record

Owner BRIDGE ON MAIN LLC THE

Sale Price \$0

Co-Owner

Certificate

Address 1000 LAFAYETTE BLVD 3RD FL
BRIDGEPORT, CT 06604

Book & Page 10891/23

Sale Date 11/08/2022

Instrument 25

Ownership History

Ownership History					
Owner	Sale Price	Certificate	Book & Page	Instrument	Sale Date
BRIDGE ON MAIN LLC THE	\$0		10891/23	25	11/08/2022
MAIN & FAIRFIELD ASSOCIATES	\$0		0000/0000		

Building Information

Building 1 : Section 1

Year Built: 1947
Living Area: 10,660
Replacement Cost: \$2,734,956
Building Percent Good: 35

Replacement Cost

Less Depreciation: \$957,230

Building Attributes

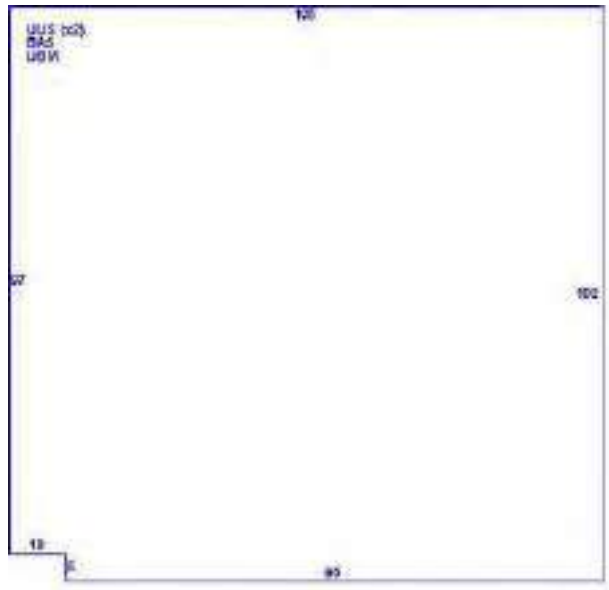
Field	Description
Style:	Off/Retail
Model	Comm/Ind
Grade:	Ave/Gd
Stories:	3
Occupancy:	3.00
Exterior Wall 1:	Brick
Exterior Wall 2:	
Roof Struct:	Flat
Roof Cover:	Tar + Gravel
Interior Wall 1:	Drywall
Interior Wall 2:	
Interior Floor 1:	Carpet
Interior Floor 2:	Ceram Clay Til
Heating Fuel:	Oil
Heating Type:	Forced Air
AC Type:	Central
Struct Class	
Bldg Use:	Office/Retail
Ttl Rooms:	
Ttl Bedrms:	00
Ttl Baths:	0
Ttl Half Baths:	0
Ttl Xtra Fix:	0
1st Floor Use:	
Heat/AC:	Heat/Ac Pkgs
Frame Type:	Masonry
Baths/Plumbing:	Average
Ceiling/Wall:	Ceil & Walls
Rooms/Prtns:	Average
Wall Height:	14.00
% Comn Wall:	25.00

Building Photo



(<https://images.vgsi.com/photos2/BridgeportCTPhotos/\00\09\72\16.jpg>)

Building Layout



(ParcelSketch.ashx?pid=6042&bid=6042)

Building Sub-Areas (sq ft)			Legend
Code	Description	Gross Area	Living Area
BAS	First Floor	10,660	10,660
UBM	Unfin Basement	10,660	0
UUS	Unfinished Upper Story	21,320	0
		42,640	10,660

Extra Features

Extra Features				Legend
Code	Description	Size	Value	Bldg #
SPR1	Sprinklers-Wet	31980.00 SF	\$31,340	1

Land

Land Use

Use Code 282
Description Office/Retail
Zone DCB
Neighborhood M2
Alt Land Appr Category No

Land Line Valuation

Size (Acres) 0.27
Frontage 0
Depth 0
Assessed Value \$206,760
Appraised Value \$295,370

Outbuildings

Outbuildings	<u>Legend</u>
No Data for Outbuildings	

Valuation History

Appraisal			
Valuation Year	Improvements	Land	Total
2022	\$988,570	\$295,370	\$1,283,940
2021	\$988,570	\$295,370	\$1,283,940
2020	\$988,570	\$295,370	\$1,283,940

Assessment			
Valuation Year	Improvements	Land	Total
2022	\$692,000	\$206,760	\$898,760
2021	\$692,000	\$206,760	\$898,760
2020	\$692,000	\$206,760	\$898,760

Appendix C

THE BRIDGE ON MAIN

"A COLLABORATIVE RESOURCES CENTER FOR SYSTEM-IMPACTED INDIVIDUALS AND THEIR FAMILIES"

1085 MAIN STREET
BRIDGEPORT, CONNECTICUT 06604



3D PERSPECTIVE
1 1/2" = 1'-0"



LOCATION MAP
N.T.S.



458 GRAND AVENUE, #108
NEW HAVEN, CT 06513
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203.410.1048 (M)
TSTEWART@IDANDC.NET
WWW.IDANDC.NET

90% CONSTRUCTION SET

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Email Address: ctad.vogel@e2engineers.com
Website: www.e2engineers.com

Code Consultant:
AR CONSULTING, LLC
38 MANOR DRIVE
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Email: andrew.ozzo1@yahoo.com

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110 Sargent Drive
New Haven, CT 06511
Connor Ericson
Architectural Consultant - Northeast
Door Security Solutions
Mobile: 860-637-3141
Email: connor.ericson@assabloy.com

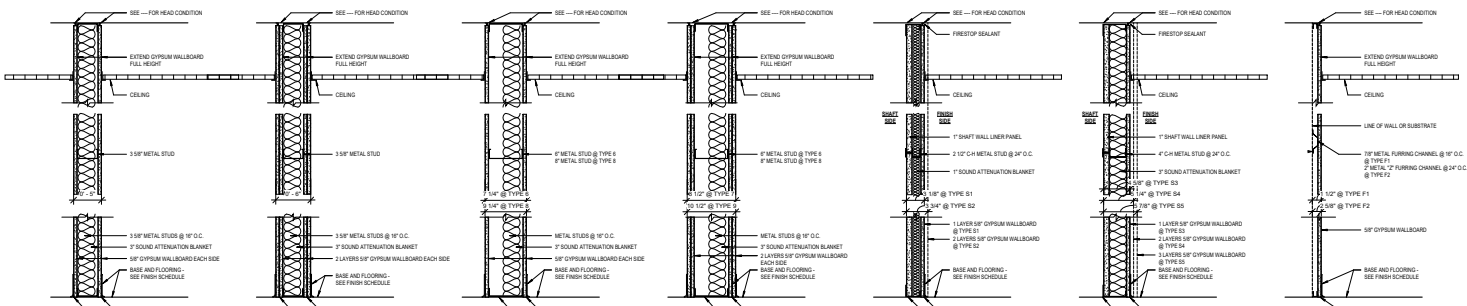
No.	Description	Date

THE BRIDGE ON MAIN, LLC.
THE BRIDGE ON MAIN
1085 MAIN STREET
BRIDGEPORT, CT 06604

COVER SHEET

Project Number 12144-M-204
Date 12-23-2024
Drawn By Author
Checked By TMS

CS0.0
Scale 1 1/2" = 1'-0"



- | | | | | | | | |
|--|--|--|--|-------------------------------|-------------------------------|-------------------------------|-------------|
| 1 HOUR RATED (UL DESIGN NO. 448)
SOUND RATED PARTITION STC 48 | 2 HOUR RATED (UL DESIGN NO. 447)
SOUND RATED PARTITION STC 56 | 1 HOUR RATED (UL DESIGN NO. 448)
SOUND RATED PARTITION STC 48 (EST) | 1 HOUR RATED (UL DESIGN NO. 447)
SOUND RATED PARTITION STC 56 (EST) | SOUND RATED SHAFT WALL STC 47 | SOUND RATED SHAFT WALL STC 47 | SOUND RATED SHAFT WALL STC 47 | FURRED WALL |
| REFER TO NOTE 2 | REFER TO NOTE 2 | REFER TO NOTE 2 | REFER TO NOTE 2 | REFER TO NOTE 2 | REFER TO NOTE 2 | REFER TO NOTE 2 | |
| 1 AS SHOWN | 2 AS SHOWN | 6 AS SHOWN - 6\"/> | | | | | |



90% CONSTRUCTION SET

OWNER/DEVELOPER:
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1000 LAFAYETTE BOULEVARD
BRIDGEPORT, CT 06604
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Website: www.careersources.org

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Mechanical, Plumbing & Fire Protection:
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Phone: (800) 548-6987 Fax: (800) 549-2572
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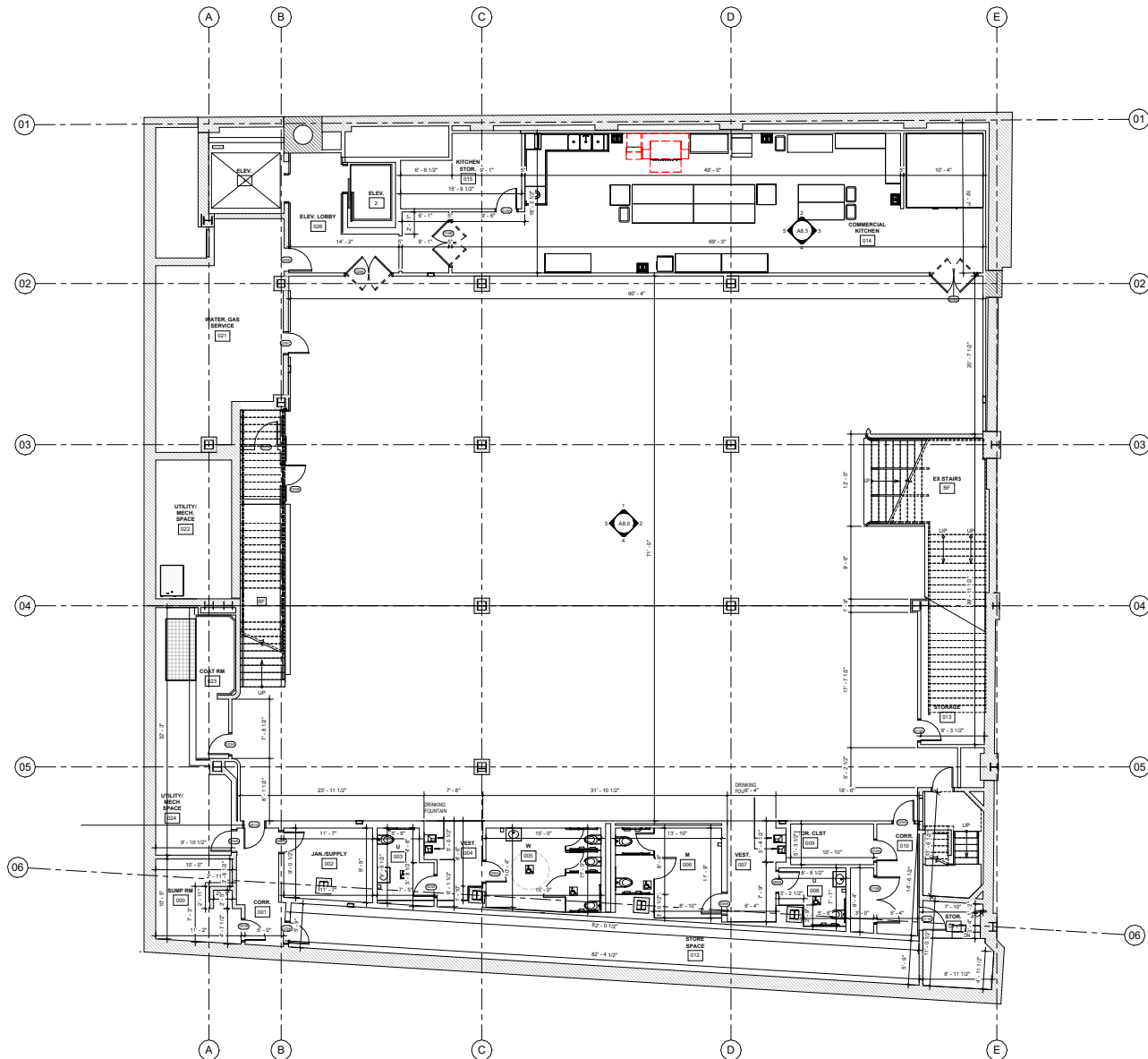
No.	Description	Date

THE BRIDGE ON MAIN, LLC.
THE BRIDGE ON MAIN
1085 MAIN STREET
BRIDGEPORT, CT 06604

WALL TYPES

Project Number 12144-M-204
Date 12-23-2024
Drawn By Author
Checked By TMS

A0.3
Scale 1 1/2" = 1'-0"



1 BASEMENT FLOOR PLAN
3/16" = 1'-0"



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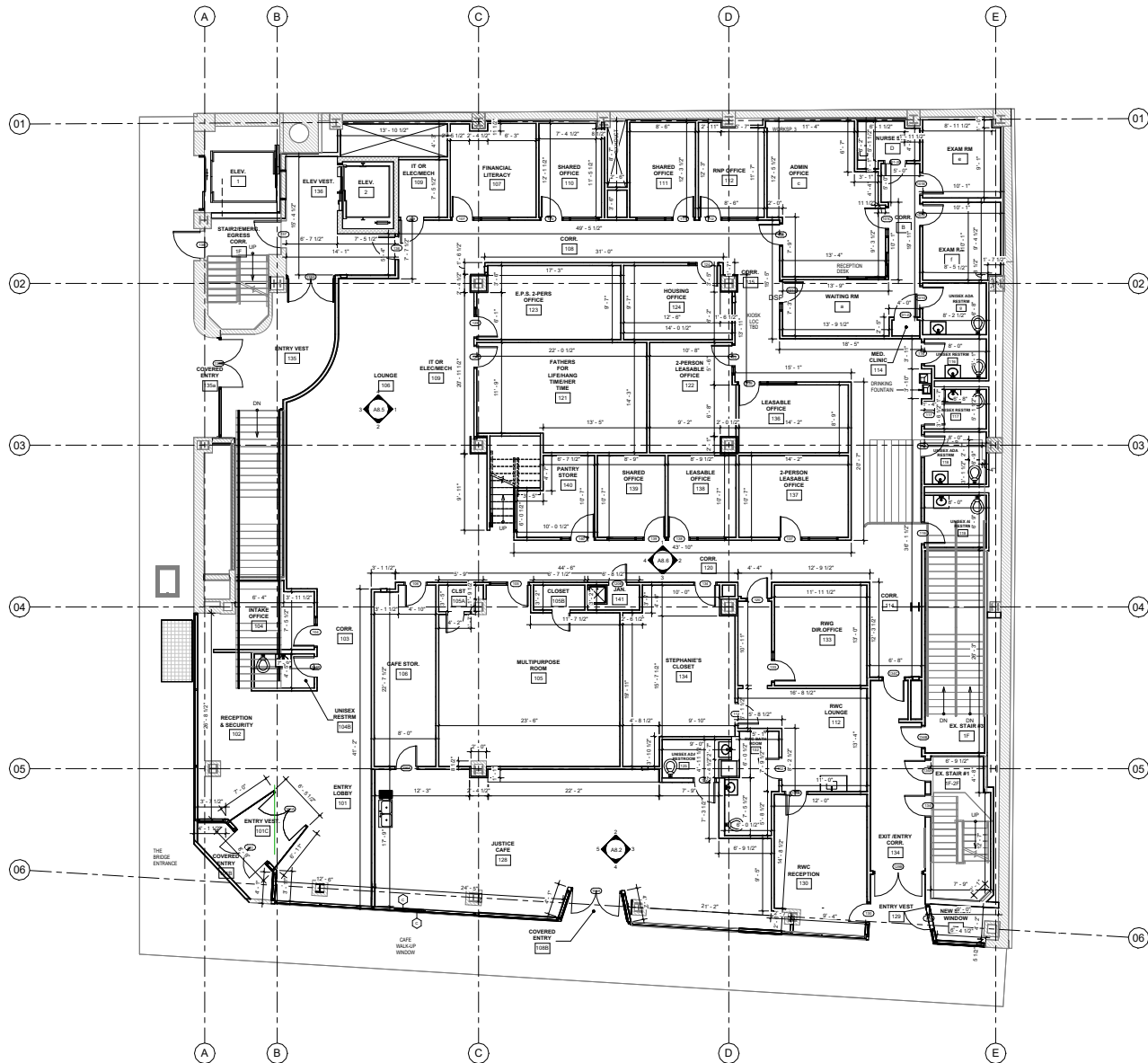
No.	Description	Date

THE BRIDGE ON MAIN, LLC.
THE BRIDGE ON MAIN
1085 MAIN STREET
BRIDGEPORT, CT 06604

PROPOSED
PLAN-BASEMENT

Project Number 12144-M-204
Date 12-23-2024
Drawn By SB/DH
Checked By TMS

A2.0
Scale 3/16" = 1'-0"



① FIRST FLOOR PLAN
3/16" = 1'-0"



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203.495.7120 (O)
203.410.1048 (M)
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90% CONSTRUCTION SET

OWNER/DEVELOPER:
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Phone: (203) 512-8979 Fax:
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No.	Description	Date

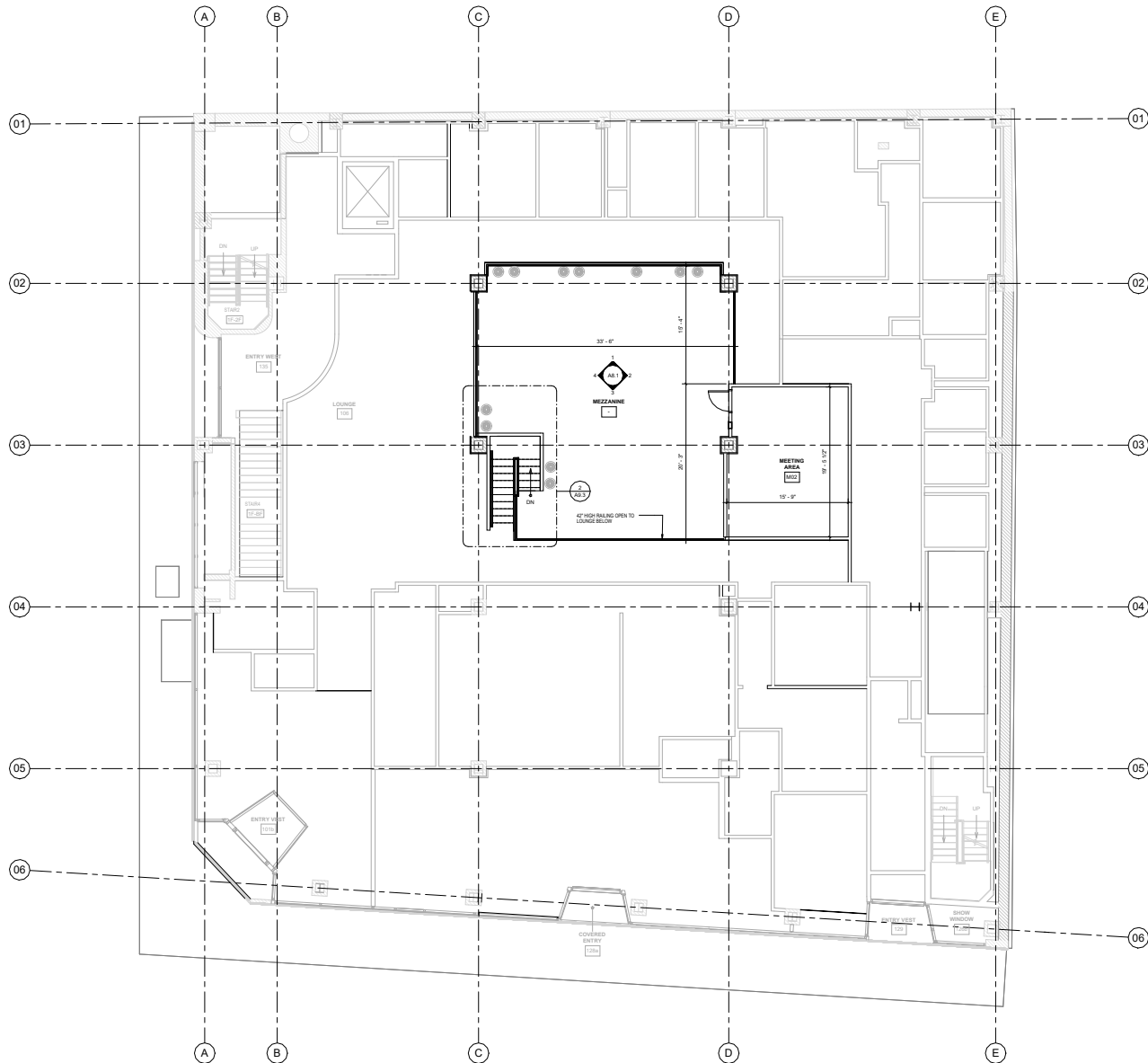
THE BRIDGE ON MAIN, LLC.
THE BRIDGE ON MAIN
1085 MAIN STREET
BRIDGEPORT, CT 06604

PROPOSED PLAN-FIRST FLOOR

Project Number 12144-M-204
Date 12-23-2024
Drawn By Author
Checked By TMS

A2.1

Scale 3/16" = 1'-0"



① FIRST MEZZANINE PLAN
3/16" = 1'-0"



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Phone: (860) 548-6987 Fax: (860) 549-2572
Email: dazam@aztecheng.com
Website: www.aztecheng.com
- Electrical Engineering, Solar Consultant:**
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- Structural Engineer:**
EZ ENGINEERS, INC.
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NEW LONDON, CT 06320
Phone: (203) 481-8600 Fax:
Email Address: ctad.vogel@ezengineers.com
Website: www.ezengineers.com
- Code Consultant:**
AR CONSULTING, LLC
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- Hardware Consultant:**
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New Haven, CT 06511
Connor Ericson
Architectural Consultant – Northeast
Door Security Solutions
Mobile: 860-637-3141
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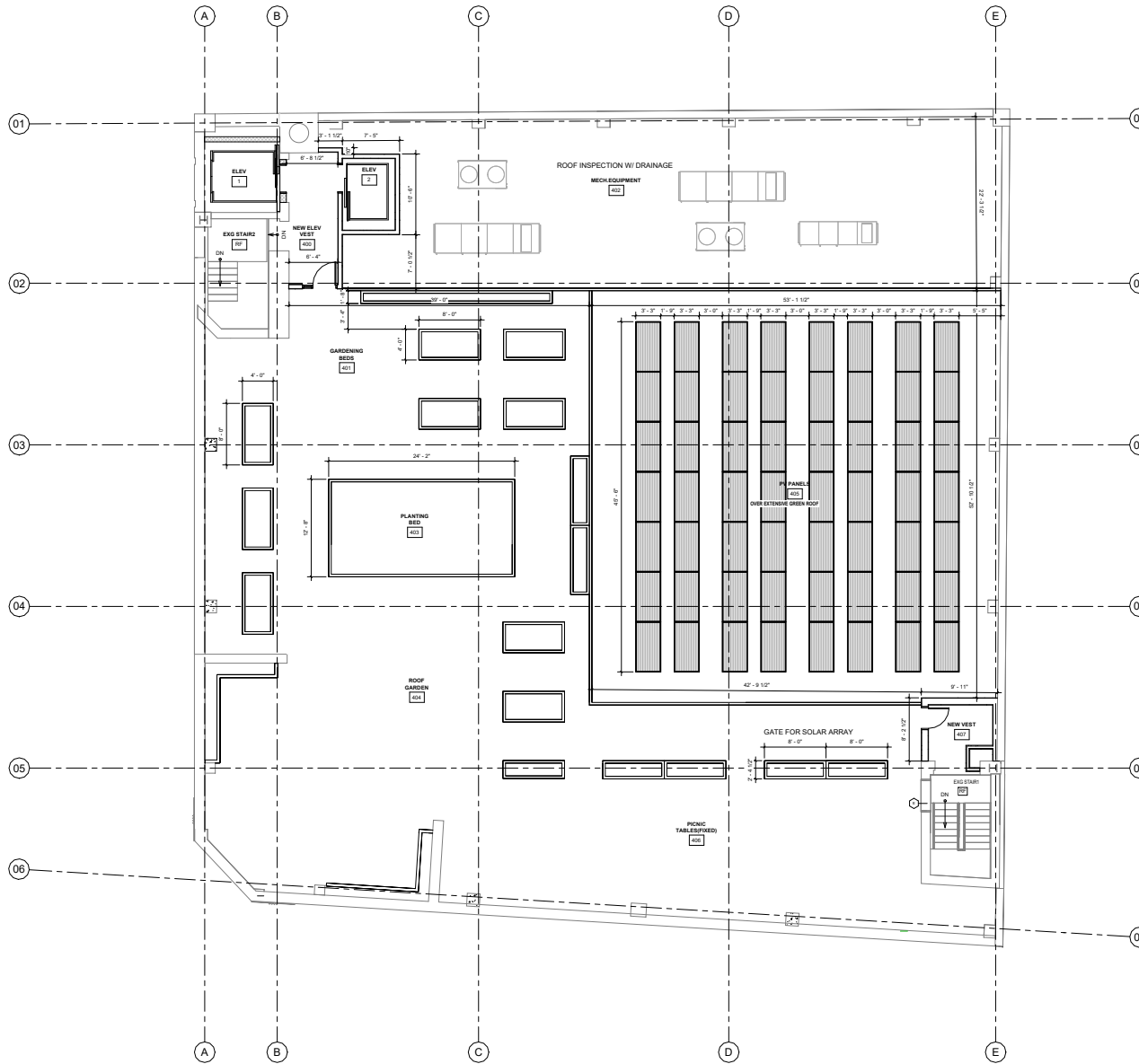
No.	Description	Date

THE BRIDGE ON MAIN, LLC.
THE BRIDGE ON MAIN
1085 MAIN STREET
BRIDGEPORT, CT 06604

**PROPOSED
PLAN-MEZZANINE**

Project Number 12144-M-204
Date 12-23-2024
Drawn By Author
Checked By TMS

A2.1A
Scale 3/16" = 1'-0"



1 ROOF & ROOF DECK PLAN
3/16" = 1'-0"



458 GRAND AVENUE, #108
NEW HAVEN, CT 06513
203.495.7120 (O)
203.410.1048 (M)
TSTEWART@IDANDC.NET
WWW.IDANDC.NET

90% CONSTRUCTION SET

OWNER/DEVELOPER:
THE BRIDGE ON MAIN, LLC
1000 LAFAYETTE BOULEVARD
BRIDGEPORT, CT 06604
Phone: (203) 612-8973 Fax:
Email: landno@careersources.org
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DESIGN ARCHITECT:
AMY REICHERT DESIGN
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Mechanical, Plumbing & Fire Protection:
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New Haven, CT 06511
Connor Ericson
Architectural Consultant - Northeast
Door Security Solutions
Mobile: 860-637-3141
Email: connor.ericson@assaabloy.com

No.	Description	Date

THE BRIDGE ON MAIN, LLC.
THE BRIDGE ON MAIN
1085 MAIN STREET
BRIDGEPORT, CT 06604

PROPOSED PLAN-ROOF

Project Number 12144-M-204
Date 12-23-2024
Drawn By Author
Checked By TMS

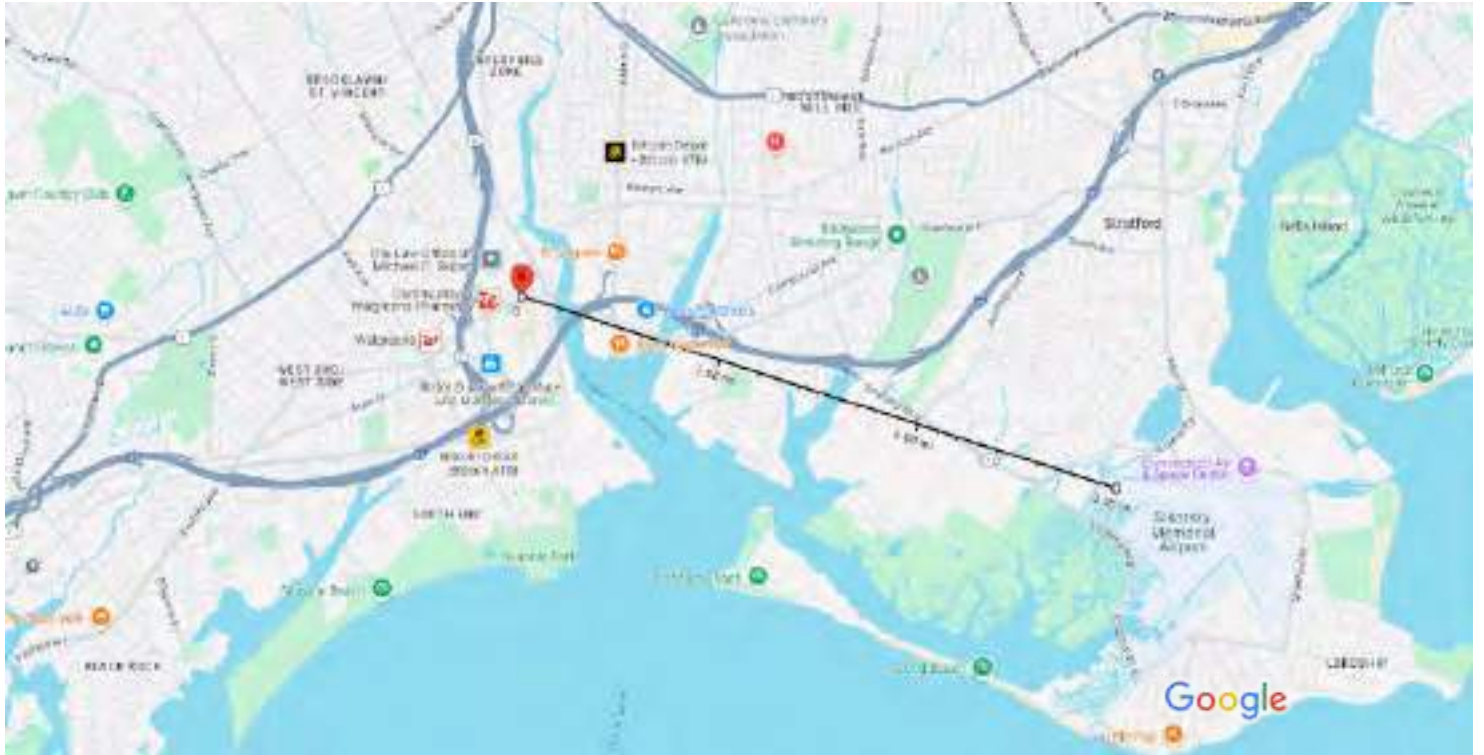
A2.4

Scale 3/16" = 1'-0"

Appendix D

1085 Main St

Distance to Airport



Map data ©2025 Google 2000 ft



1085 Main St

Building



Directions



Save



Nearby



Send to phone



Share



1085 Main St, Bridgeport, CT 06604

Photos



Measure distance
Total distance: 3.00 mi (4.83 km)



Appendix E



January 2, 2025

 CBRS Buffer Zone

CBRS Units

-  Otherwise Protected Area
-  System Unit

This map is for general reference only. The Coastal Barrier Resources System (CBRS) boundaries depicted on this map are representations of the controlling CBRS boundaries, which are shown on the official maps, accessible at <https://www.fws.gov/library/collections/official-coastal-barrier-resources-system-maps>. All CBRS related data should be used in accordance with the layer metadata found on the CBRS Mapper website.

The CBRS Buffer Zone represents the area immediately adjacent to the CBRS boundary where users are advised to contact the Service for an official determination (<https://www.fws.gov/service/coastal-barrier-resources-system-property-documentation>) as to whether the property or project site is located "in" or "out" of the CBRS.

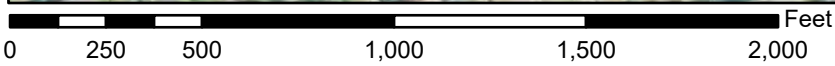
CBRS Units normally extend seaward out to the 20- or 30-foot bathymetric contour (depending on the location of the unit). The true seaward

Appendix F

National Flood Hazard Layer FIRMMette



73°11'41"W 41°10'59"N



1:6,000

73°11'41"W 41°10'32"N

Basemap Imagery Source: USGS National Map 2023

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
		Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance
		17.5 Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
		Coastal Transect Baseline
	Profile Baseline	
MAP PANELS		Digital Data Available
		No Digital Data Available
		Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

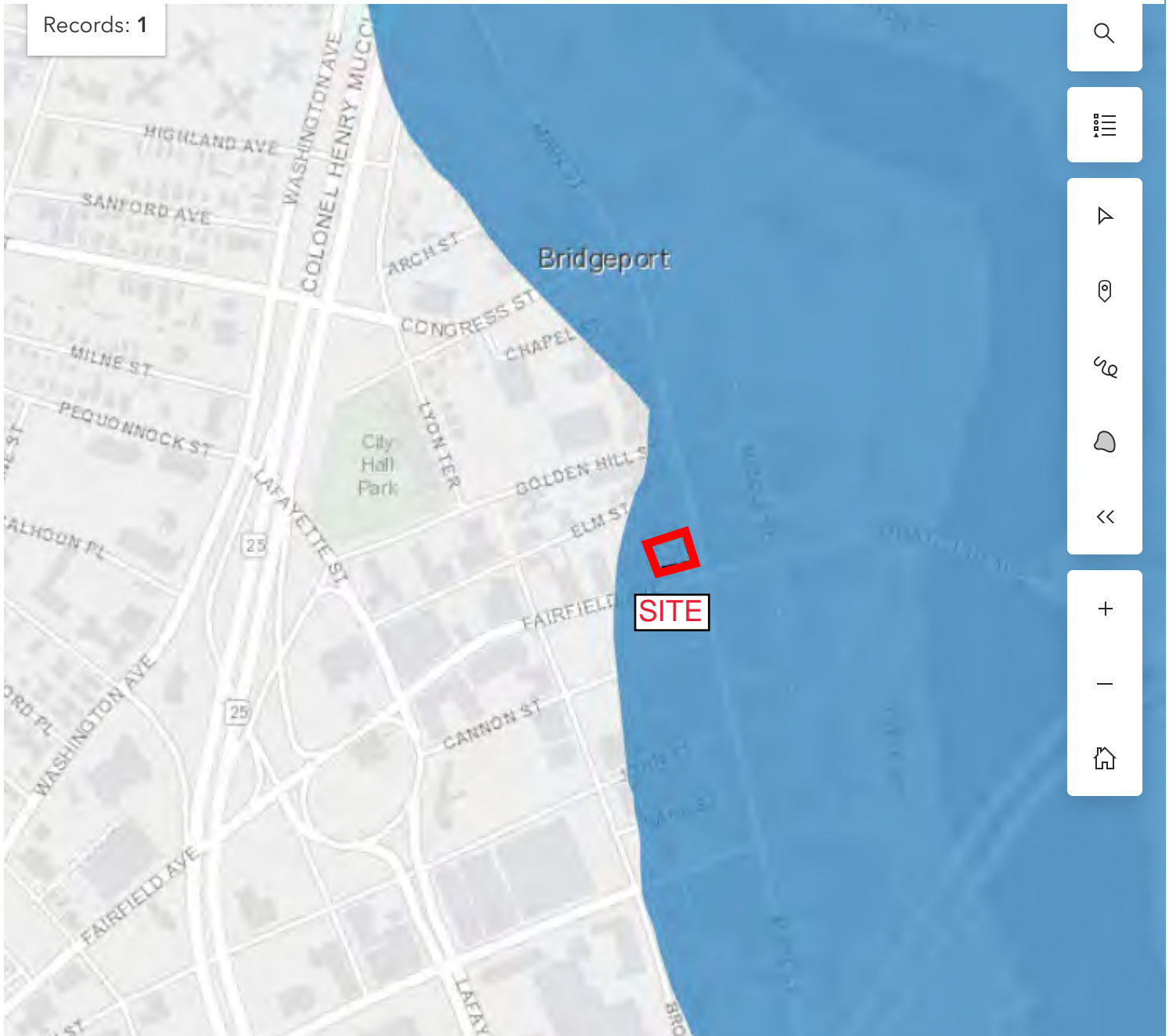
This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on **6/8/2023 at 1:12 PM** and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

Appendix G

The Bridge on Main



Records: 1

Bridgeport

SITE

GBRC, Suffolk County, UConn/CTDEEP, Esri, HERE, Garmin, GeoTechnologies, Inc., Intermap, USGS, EPA | Esri, HERE Powered by Esri

Coastal Boundary Zone in blue

Appendix H

1.0 EXECUTIVE SUMMARY

Freeman Companies (Freeman) has completed a Phase I Environmental Site Assessment (Phase I ESA) of the Bridge on Main located at 1085 Main Street, Bridgeport, Connecticut (herein referred to as the "Site"). The assessment was completed in accordance with the ASTM International (ASTM) Standard Practice for Environmental Site Assessments: Phase I Environmental Site Assessment Process, E1527-21, and the Connecticut Department of Energy and Environmental Protection (CT DEEP) Site Characterization Guidance Document (SCGD) dated September 2007 (Revised December 2010).

The 0.27-acre Site consists of one parcel of land identified by the Bridgeport tax assessor as Map 35, Block 916, Lot 12. One (1) building is located on the Site. The building is described as follows:

- Building 1 consists of a three-story, 10,660 foot² commercial structure. The building is of masonry construction with an unfinished basement, and with a flat roof. The building is vacant. The construction of the building is consistent with its former use as a department store.

The Site is vacant. On-street parking is located on Fairfield Avenue to the south and on Main Street to the east of the Site. Before its vacancy in 2010, the Site was a Rite-Aid pharmacy. The Site will be redeveloped for commercial use as a collaborative resource center for system impacted individuals.

Charlotte Cyr of Freeman conducted the site reconnaissance on January 06, 2025.

The following is a summary of the key findings of this assessment:

- The Site was developed prior to 1884 for commercial use. According to the 1884 Sanborn Map, the Site was occupied by various three-story buildings, which included the Whales Building and the Salem Building, as well as several other smaller buildings used as various storefronts. These were labelled as a 99 cent store, a millinery, a drugstore, and dwellings (which are suspected to have resided in the upper floors of the buildings). In the 1913 Sanborn Map, the previous buildings on the Site appeared to be demolished and replaced by the Meigs Building. Up until 1943, the Meigs Building was present, along with New Leavitt's – department store, H.L. Green – department store, and vacant residences. In the 1949 aerial photograph, the former Meigs Building appears to have been demolished and the Site is now depicted as its current configuration. This includes a medium sized, three-story square building.
- In 1950, the Site was now labelled as F.W Woolworth department store. It had fireproofed construction, a steel frame, concrete floors and roof, and sheetrock walls, and it was built in 1947. There were automatic sprinklers throughout the building, as well as air conditioning. F.W. Woolworth department store was present in the City Directory until 1974, when Rite-Aid and Parks Children & Infants Wear took its place. In the 1987 City Directory, the Parks Children and Infants Wear was no longer present. In 1992, Justice Pharmacies took over the vacancy. Rite-Aid and Justice Pharmacies appeared to have occupied the Site until about 2010, after which the Site appeared to have been unused.
- There was slight staining in the southwest corner of the vault, which is located to the south-southwest of the basement behind the elevator shaft. This was identified as a de minimis condition in the report. The previous Phase I report by Down to Earth Consulting, LLC observed minor staining in two locations in the vault. They presumed it was due to overfilling and/or removal activities from a former fuel oil storage tank. However, there is no evidence that a former storage tank was located in the vault. There were no records provided or available regarding the presence of a tank, and there were no visible fill or vent pipes or fuel supply lines normally associated with an oil tank.

This assessment has revealed the following:

- Recognized environmental condition (RECs) – No RECs were identified during the assessment.
- Controlled recognized environmental conditions (CRECs) – No CRECs were identified during the assessment.
- Historical recognized environmental conditions (HRECs) – No HRECs were identified during the assessment.
- De minimis conditions – Slight staining in the southwest corner of the vault, which is located to the south-southwest of the building.
- Significant data gaps – No significant data gaps were recognized.
- Areas of Concern (AOCs) – No AOCs were identified during the assessment.

In Freeman's opinion, no information was identified to suggest that the Site or business operating on the property meets the definition of an "Establishment" pursuant to Connecticut General Statute (CGS) 22a-134, also known as the "Property Transfer Act". This opinion should be confirmed by counsel prior to any qualifying transfer of ownership of the property or business.

7.0 CONCLUSIONS AND RECOMMENDATIONS

7.1 Asbestos

Asbestos was found on various materials including, but not limited to sheetrock systems, exterior door caulk and various roofing materials. Asbestos was assumed in inaccessible materials including electrical wire housing, insulation potentially found in metal doors, and potential mirror adhesive.

In accordance with the OSHA regulations in 29 CFR Part 1926.1101 and 1910.1001, all potential contractors bidding on work must first be informed of the results of this survey. In addition, notification regarding the presence of the ACM must be provided to all employees and tenants who occupy an area containing ACM.

In accordance with NESHAP regulations in 40 CFR Part 61 Subpart M, building owners must remove all ACM from a facility (or area of a facility) before any activity begins that would break up, dislodge, or similarly disturb the ACM. Disturbance of asbestos-containing material can only be done by trained and licensed individuals and contractors.

Any material that was identified as negative for asbestos may be removed at will and disposed of as standard construction debris as long as it does not disturb any ACM or is not otherwise regulated. In addition, any new building materials that have not previously been identified shall be assumed to contain asbestos until the material has been properly tested.

7.2 Lead

LBP was found only on glazed wall block and structural I-beams. DEEP requires lead waste characterization sampling for building materials containing lead-based paint that will become a waste material as a result of demolition or renovation activities. The waste may be combined with general construction debris, which will dilute the concentration of lead in the total waste stream. An exception is material with a metal substrate which may be recycled in a facility that accepts LBP; however, it is not projected that the I-beams will be recycled, as they are structural members.

The result of the TCLP test of the ceramic tile containing high levels of LBP was below the regulatory limit of 5 mg/L which determines that the tile may be disposed of as general construction debris, if not otherwise regulated.

Paint containing low levels of lead was found on various metal and plaster components. During any renovation process in which measurable levels of lead are detected in the affected components, safe work procedures must be implemented by properly lead trained or informed workers employed by contractors to address worker protection, lead exposure controls, waste stream management, and ambient air quality monitoring. Specifically, contractors will be required to comply with all applicable OSHA regulations including 29 CFR 1926.62, "Lead Exposure in Construction: Interim Final Rule" and 29 CFR 1926.59, "Hazard Communication for the Construction Industry".

7.3 PCBs

The removal and disposal of items with PCB in Materials/Paints/Coatings is regulated by TSCA pursuant to federal regulations in 40 CFR 761. As such, demolition debris with PCB materials is regulated as PCB Bulk Product Waste if PCB concentrations in the materials are ≥ 50 mg/kg. Though the materials were not tested for PCBs, if they are disposed of together with the surrounding substrate, they may be disposed of in a non-municipal landfill not regulated by TSCA. The materials should be handled by the contractor with caution appropriate for high levels of PCBs as the actual concentration of PCBs in the materials is not known. Transport and disposal of this type of waste in Connecticut requires a permit from DEEP.

7.4 Universal Waste

The fluorescent bulbs, lithium batteries and mercury switches (if confirmed) inventoried must be disposed of as universal waste. If the refrigeration units are to be disposed of, freon or other refrigerants present must be evacuated and disposed of by specially trained personnel. Ballasts, if confirmed to contain PCBs, must be disposed of as PCB bulk product waste. If found to contain DEHP, they may be disposed of as general universal waste, or if electronic, as spent electronic waste.

7.5 Radon

As radon levels were below the EPA Action Level of 4.0 and the level of 2.0 pCi/L at which recommendation of mitigation is suggested, no further action is needed regarding radon mitigation.

7.0 REPORT LIMITATIONS CRITERIA

While Freeman followed industry standards during the inspection, we do not warrant that all suspect hazardous building materials were identified in or on the facility and shall not be held liable related to future abatement costs related to hazardous materials that are either not discovered or appropriately characterized. This is due in part to inherent problems with every building inspection, such as, but not limited to:

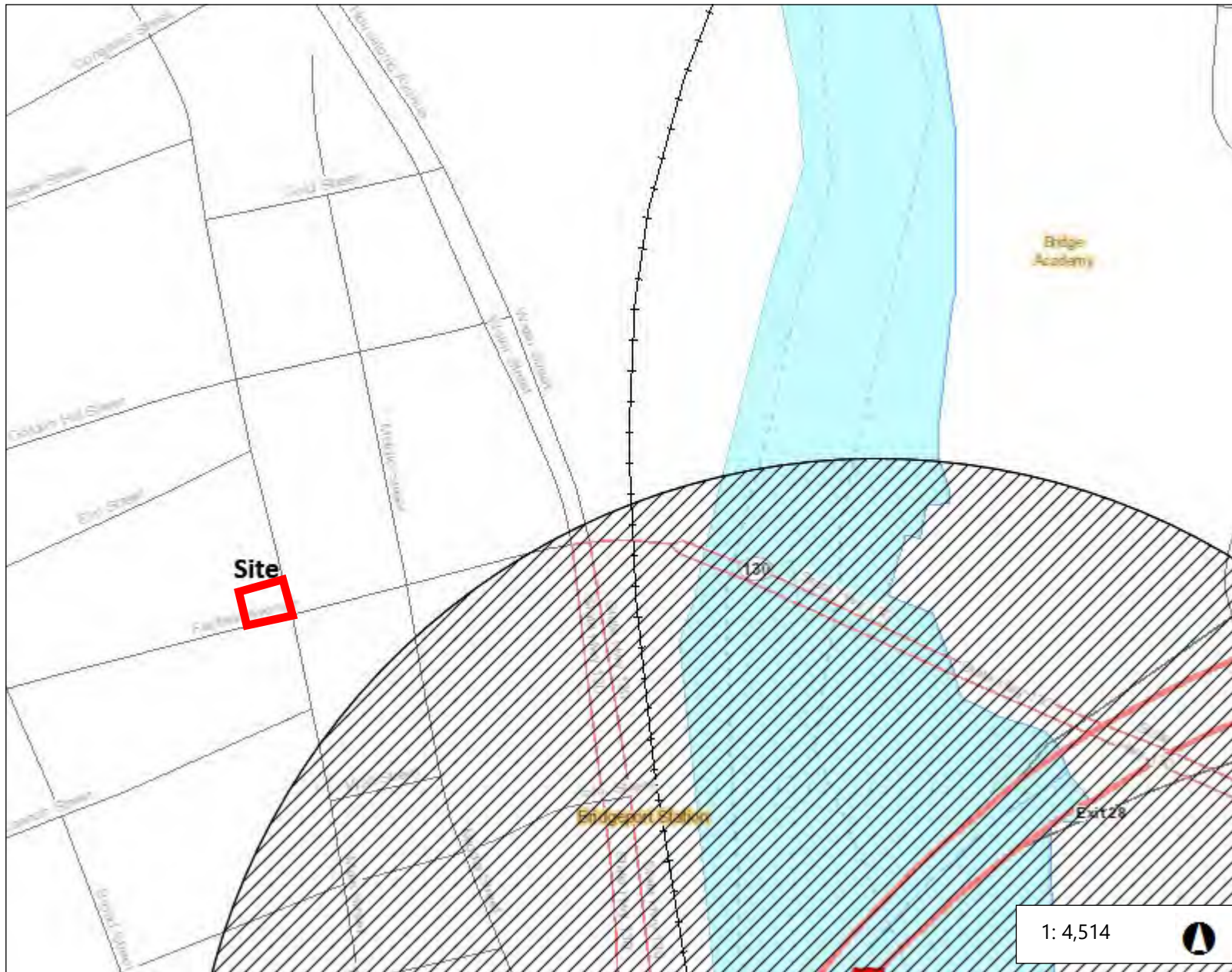
- Seemingly homogeneous materials that are not in fact homogeneous;
- Seemingly representative locations that are not in fact representative;
- Layered materials that are not uniformly present or are isolated;
- Materials that are present and accessible but were not considered to be suspect
- Material that is present in locations that are unsafe or otherwise difficult to access.

Client acknowledges that Freeman's inspection is inherently limited and all hazardous materials may only become apparent during the course of future demolition. During the course of future demolition work, it is likely that additional

hazardous materials or materials suspected of being hazardous will be identified. Such materials should be assumed to be hazardous unless appropriate evaluation, sampling, and/or analysis demonstrate otherwise. Contracts, specifications, and plans should advise contractors to conduct controlled demolition work and stop immediately should any suspect hazardous building materials be encountered during the course of their work.

This report is intended for the sole use of the Client and may not be used or relied upon by others without the written consent of the Client. The scope of work conducted in performing this service for the Client may not be appropriate to satisfy the needs of other Parties, and the use or re-use of this document or the findings, conclusions, or recommendations is at the risk of said user.

Appendix I



Legend

- Critical Habitat
- Natural Diversity Database Area
- Geographic Names7
- Geographic Place 3
- Airport
- Airport
- Heliport
- + Railroad
- Streets
- Interstate Highway
- US Highway
- State Highway
- Primary limited-access
- Ramp
- Street
- Ferry crossing
- County Line
- State Boundary
- County Boundary
- Coastline
- County Name
- Town Line
- State Boundary
- Town Boundary
- Coastline
- CT Town Name

1:4,514

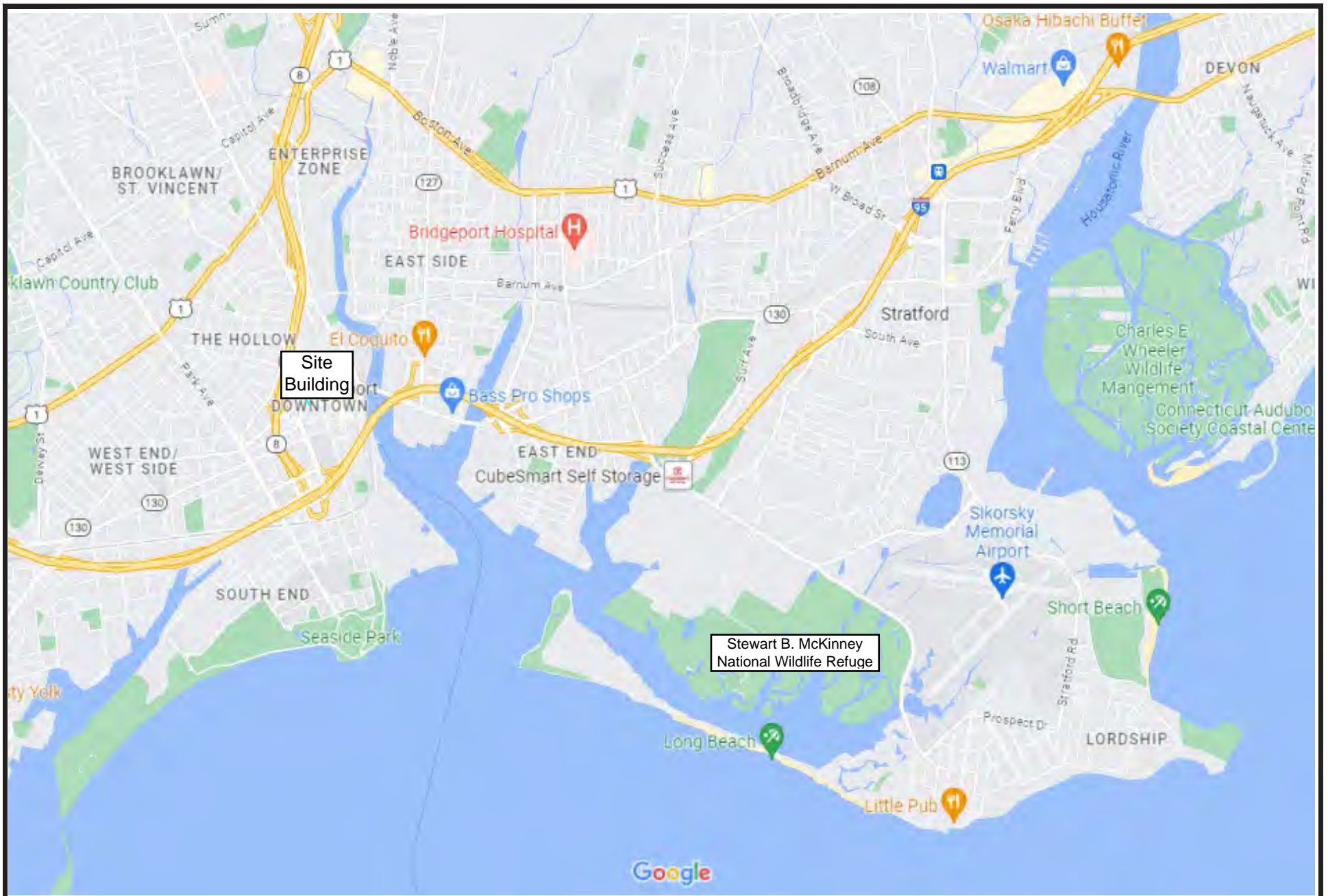


0.1 0 0.07 0.1 Miles



This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Notes



FREEMAN COMPANIES

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 FAX: (860) 986-7161
 ELEVATE YOUR EXPECTATIONS

PROXIMITY TO WILDLIFE REFUGES

THE BRIDGE ON MAIN
 1085 MAIN STREET
 BRIDGEPORT, CONNECTICUT



NORTH
 NOT TO SCALE



United States Department of the Interior



FISH AND WILDLIFE SERVICE
New England Ecological Services Field Office
70 Commercial Street, Suite 300
Concord, NH 03301-5094
Phone: (603) 223-2541 Fax: (603) 223-0104

In Reply Refer To:
Project code: 2023-0099308
Project Name: The Bridge on Main

June 29, 2023

Federal Action Agency (if applicable): Economic Development Administration

Subject: Record of project representative's no effect determination for 'The Bridge on Main'

Dear Michelle Rudy:

This letter records your determination using the Information for Planning and Consultation (IPaC) system provided to the U.S. Fish and Wildlife Service (Service) on June 29, 2023, for 'The Bridge on Main' (here forward, Project). This project has been assigned Project Code 2023-0099308 and all future correspondence should clearly reference this number. **Please carefully review this letter.**

Ensuring Accurate Determinations When Using IPaC

The Service developed the IPaC system and associated species' determination keys in accordance with the Endangered Species Act of 1973 (ESA; 87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.) and based on a standing analysis. All information submitted by the Project proponent into IPaC must accurately represent the full scope and details of the Project.

Failure to accurately represent or implement the Project as detailed in IPaC or the Northern Long-eared Bat Rangewide Determination Key (Dkey), invalidates this letter. ***Answers to certain questions in the DKey commit the project proponent to implementation of conservation measures that must be followed for the ESA determination to remain valid.***

Determination for the Northern Long-Eared Bat

Based upon your IPaC submission and a standing analysis, your project has reached the determination of "No Effect" on the northern long-eared bat. To make a no effect determination, the full scope of the proposed project implementation (action) should not have any effects (either positive or negative), to a federally listed species or designated critical habitat. Effects of the action are all consequences to listed species or critical habitat that are caused by the proposed action, including the consequences of other activities that are caused by the proposed action. A

consequence is caused by the proposed action if it would not occur but for the proposed action and it is reasonably certain to occur. Effects of the action may occur later in time and may include consequences occurring outside the immediate area involved in the action. (See § 402.17).

Under Section 7 of the ESA, if a federal action agency makes a no effect determination, no consultation with the Service is required (ESA §7). If a proposed Federal action may affect a listed species or designated critical habitat, formal consultation is required except when the Service concurs, in writing, that a proposed action "is not likely to adversely affect" listed species or designated critical habitat [50 CFR §402.02, 50 CFR§402.13].

Other Species and Critical Habitat that May be Present in the Action Area

The IPaC-assisted determination for the northern long-eared bat does not apply to the following ESA-protected species and/or critical habitat that also may occur in your Action area:

- Monarch Butterfly *Danaus plexippus* Candidate
- Roseate Tern *Sterna dougallii dougallii* Endangered

You may coordinate with our Office to determine whether the Action may affect the animal species listed above and, if so, how they may be affected.

Next Steps

Based upon your IPaC submission, your project has reached the determination of “No Effect” on the northern long-eared bat. If there are no updates on listed species, no further consultation/coordination for this project is required with respect to the northern long-eared bat. However, the Service recommends that project proponents re-evaluate the Project in IPaC if: 1) the scope, timing, duration, or location of the Project changes (includes any project changes or amendments); 2) new information reveals the Project may impact (positively or negatively) federally listed species or designated critical habitat; or 3) a new species is listed, or critical habitat designated. If any of the above conditions occurs, additional coordination with the Service should take place to ensure compliance with the Act.

If you have any questions regarding this letter or need further assistance, please contact the New England Ecological Services Field Office and reference Project Code 2023-0099308 associated with this Project.

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

The Bridge on Main

2. Description

The following description was provided for the project 'The Bridge on Main':

Renovate existing building at 1035 Main Street in Bridgeport, CT over the next year. Property is 0.28 acres and the building covers the entire site.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@41.179517950000005,-73.19038342579697,14z>



DETERMINATION KEY RESULT

Based on the information you provided, you have determined that the Proposed Action will have no effect on the Endangered northern long-eared bat (*Myotis septentrionalis*). Therefore, no consultation with the U.S. Fish and Wildlife Service pursuant to Section 7(a)(2) of the Endangered Species Act of 1973 (87 Stat. 884, as amended 16 U.S.C. 1531 *et seq.*) is required for those species.

QUALIFICATION INTERVIEW

1. Does the proposed project include, or is it reasonably certain to cause, intentional take of the northern long-eared bat or any other listed species?

Note: Intentional take is defined as take that is the intended result of a project. Intentional take could refer to research, direct species management, surveys, and/or studies that include intentional handling/encountering, harassment, collection, or capturing of any individual of a federally listed threatened, endangered or proposed species?

No

2. The proposed action does not intersect an area where the northern long-eared bat is likely to occur, based on the information available to U.S. Fish and Wildlife Service as of the most recent update of this key. If you have data that indicates that northern long-eared bats are likely to be present in the action area, answer "NO" and continue through the key.

Do you want to make a no effect determination?

Yes

PROJECT QUESTIONNAIRE

IPAC USER CONTACT INFORMATION

Agency: Freeman Companies
Name: Michelle Rudy
Address: 36 John Street
City: Hartford
State: CT
Zip: 06106
Email: mrudy@freemancos.com
Phone: 8602519550

LEAD AGENCY CONTACT INFORMATION

Lead Agency: Economic Development Administration
Name: Christopher Landino
Email: Landino@careerresources.org
Phone: 2035128979



United States Department of the Interior



FISH AND WILDLIFE SERVICE
New England Ecological Services Field Office
70 Commercial Street, Suite 300
Concord, NH 03301-5094
Phone: (603) 223-2541 Fax: (603) 223-0104

In Reply Refer To:
Project code: 2023-0099308
Project Name: The Bridge on Main

June 29, 2023

Federal Nexus: yes
Federal Action Agency (if applicable): Economic Development Administration

Subject: Federal agency coordination under the Endangered Species Act, Section 7 for 'The Bridge on Main'

Dear Michelle Rudy:

This letter records your determination using the Information for Planning and Consultation (IPaC) system provided to the U.S. Fish and Wildlife Service (Service) on June 29, 2023, for “The Bridge on Main” (here forward, Project). This project has been assigned Project Code 2023-0099308 and all future correspondence should clearly reference this number.

The Service developed the IPaC system and associated species’ determination keys in accordance with the Endangered Species Act of 1973 (ESA; 87 Stat. 884, as amended; 16 U.S.C. 1531 et seq.) and based on a standing analysis. All information submitted by the Project proponent into the IPaC must accurately represent the full scope and details of the Project. Failure to accurately represent or implement the Project as detailed in IPaC or the Northeast Determination Key (DKey), invalidates this letter. **Answers to certain questions in the DKey commit the project proponent to implementation of conservation measures that must be followed for the ESA determination to remain valid.**

To make a no effect determination, the full scope of the proposed project implementation (action) should not have any effects (either positive or negative effect(s)), to a federally listed species or designated critical habitat. Effects of the action are all consequences to listed species or critical habitat that are caused by the proposed action, including the consequences of other activities that are caused by the proposed action. A consequence is caused by the proposed action if it would not occur but for the proposed action and it is reasonably certain to occur. Effects of the action may occur later in time and may include consequences occurring outside the immediate area involved in the action. (See § 402.17). Under Section 7 of the ESA, if a federal action agency makes a no effect determination, no further consultation with, or concurrence from, the Service is required (ESA §7). If a proposed Federal action may affect a listed species or designated critical

habitat, formal consultation is required (except when the Service concurs, in writing, that a proposed action "is not likely to adversely affect" listed species or designated critical habitat [50 CFR §402.02, 50 CFR§402.13]).

The IPaC results indicated the following species is (are) potentially present in your project area and, based on your responses to the Service's Northeast DKey, you determined the proposed Project will have the following effect determinations:

Species	Listing Status	Determination
Roseate Tern (<i>Sterna dougallii dougallii</i>)	Endangered	No effect

Conclusion If there are no updates on listed species, no further consultation/coordination for this project is required for the species identified above. However, the Service recommends that project proponents re-evaluate the Project in IPaC if: 1) the scope, timing, duration, or location of the Project changes (includes any project changes or amendments); 2) new information reveals the Project may impact (positively or negatively) federally listed species or designated critical habitat; or 3) a new species is listed, or critical habitat designated. If any of the above conditions occurs, additional consultation with the Service should take place before project implements any changes which are final or commits additional resources.

In addition to the species listed above, the following species and/or critical habitats may also occur in your project area and are not covered by this conclusion:

- Monarch Butterfly *Danaus plexippus* Candidate
- Northern Long-eared Bat *Myotis septentrionalis* Endangered

To complete consultation for species that have reached a "May Affect" determination and/or species may occur in your project area and are not covered by this conclusion, please visit the "New England Field Office Endangered Species Project Review and Consultation" website for step-by-step instructions on how to consider effects on these listed species and/or critical habitats, avoid and minimize potential adverse effects, and prepare and submit a project review package if necessary: <https://www.fws.gov/office/new-england-ecological-services/endangered-species-project-review>

Please Note: If the Action may impact bald or golden eagles, additional coordination with the Service under the Bald and Golden Eagle Protection Act (BGEPA) (54 Stat. 250, as amended, 16 U.S.C. 668a-d) by the prospective permittee may be required. Please contact the Migratory Birds Permit Office, (413) 253-8643, or PermitsR5MB@fws.gov, with any questions regarding potential impacts to Eagles.

If you have any questions regarding this letter or need further assistance, please contact the New England Ecological Services Field Office and reference the Project Code associated with this Project.

Action Description

You provided to IPaC the following name and description for the subject Action.

1. Name

The Bridge on Main

2. Description

The following description was provided for the project 'The Bridge on Main':

Renovate existing building at 1035 Main Street in Bridgeport, CT over the next year. Property is 0.28 acres and the building covers the entire site.

The approximate location of the project can be viewed in Google Maps: <https://www.google.com/maps/@41.179517950000005,-73.19038342579697,14z>



QUALIFICATION INTERVIEW

1. As a representative of this project, do you agree that all items submitted represent the complete scope of the project details and you will answer questions truthfully?

Yes

2. Does the proposed project include, or is it reasonably certain to cause, intentional take of listed species?

Note: This question could refer to research, direct species management, surveys, and/or studies that include intentional handling/encountering, harassment, collection, or capturing of any individual of a federally listed threatened, endangered, or proposed species.

No

3. Is the action authorized, permitted, licensed, funded, or being carried out by a Federal agency in whole or in part?

Yes

4. Is the Federal Highway Administration (FHWA), Federal Railroad Administration (FRA), or Federal Transit Administration (FTA) the lead agency for this project?

No

5. Are you including in this analysis all impacts to federally listed species that may result from the entirety of the project (not just the activities under federal jurisdiction)?

Note: If there are project activities that will impact listed species that are considered to be outside of the jurisdiction of the federal action agency submitting this key, contact your local Ecological Services Field Office to determine whether it is appropriate to use this key. If your Ecological Services Field Office agrees that impacts to listed species that are outside the federal action agency's jurisdiction will be addressed through a separate process, you can answer yes to this question and continue through the key.

Yes

6. Are you the lead federal action agency or designated non-federal representative requesting concurrence on behalf of the lead Federal Action Agency?

Yes

7. Is the lead federal action agency the Environmental Protection Agency (EPA) or Federal Communications Commission (FCC)?

No

8. Is the lead federal action agency the Federal Energy Regulatory Commission (FERC)?

No

9. Will the proposed project involve the use of herbicide where listed species are present?

No

10. Are there any caves or anthropogenic features suitable for hibernating or roosting bats within the area expected to be impacted by the project?

No

11. Does any component of the project associated with this action include structures that may pose a collision risk to **birds** (e.g., land-based or offshore wind turbines, communication towers, high voltage transmission lines, any type of towers with or without guy wires)?

Note: For federal actions, answer 'yes' if the construction or operation of wind power facilities is either (1) part of the federal action or (2) would not occur but for a federal agency action (federal permit, funding, etc.).

No

12. Does any component of the project associated with this action include structures that may pose a collision risk to **bats** (e.g., land-based wind turbines)?

Note: For federal actions, answer 'yes' if the construction or operation of wind power facilities is either (1) part of the federal action or (2) would not occur but for a federal agency action (federal permit, funding, etc.).

No

13. Will the proposed project result in permanent changes to water quantity in a stream or temporary changes that would be sufficient to result in impacts to listed species?

For example, will the proposed project include any activities that would alter stream flow, such as water withdrawal, hydropower energy production, impoundments, intake structures, diversion structures, and/or turbines? Projects that include temporary and limited water reductions that will not displace listed species or appreciably change water availability for listed species (e.g. listed species will experience no changes to feeding, breeding or sheltering) can answer "No". Note: This question refers only to the amount of water present in a stream, other water quality factors, including sedimentation and turbidity, will be addressed in following questions.

No

14. Will the proposed project affect wetlands where listed species are present?

This includes, for example, project activities within wetlands, project activities within 300 feet of wetlands that may have impacts on wetlands, water withdrawals and/or discharge of contaminants (even with a NPDES).

No

15. Will the proposed project activities (including upland project activities) occur within 0.5 miles of the water's edge of a stream or tributary of a stream where listed species may be present?

Yes

16. Will the proposed project directly affect a streambed (below ordinary high water mark (OHWM)) of the stream or tributary where listed species may be present?

No

17. Will the proposed project bore underneath (directional bore or horizontal directional drill) a stream where listed species may be present?

No

18. Will the proposed project involve a new point source discharge into a stream or change an existing point source discharge (e.g., outfalls; leachate ponds) where listed species may be present?

No

19. Will the proposed project involve the removal of excess sediment or debris, dredging or in-stream gravel mining where listed species may be present?

No

20. Will the proposed project involve the creation of a new water-borne contaminant source where listed species may be present?

Note New water-borne contaminant sources occur through improper storage, usage, or creation of chemicals. For example: leachate ponds and pits containing chemicals that are not NSF/ANSI 60 compliant have contaminated waterways. Sedimentation will be addressed in a separate question.

No

21. Will the proposed project involve perennial stream loss, in a stream or tributary of a stream where listed species may be present, that would require an individual permit under 404 of the Clean Water Act?

No

22. Will the proposed project involve blasting where listed species may be present?

No

23. Will the proposed project include activities that could negatively affect fish movement temporarily or permanently (including fish stocking, harvesting, or creation of barriers to fish passage)?

No

24. Will the proposed project involve earth moving that could cause erosion and sedimentation, and/or contamination along a stream or tributary of a stream where listed species may be present?

Note: Answer "Yes" to this question if erosion and sediment control measures will be used to protect the stream.

No

25. Will earth moving activities result in sediment being introduced to streams or tributaries of streams where listed species may be present through activities such as, but not limited to, valley fills, large-scale vegetation removal, and/or change in site topography?

No

26. Will the proposed project involve vegetation removal within 200 feet of a perennial stream bank where aquatic listed species may be present?

No

27. Will erosion and sedimentation control Best Management Practices (BMPs) associated with applicable state and/or Federal permits, be applied to the project? If BMPs have been provided by and/or coordinated with and approved by the appropriate Ecological Services Field Office, answer "Yes" to this question.

No

28. Is the project being funded, lead, or managed in whole or in part by U.S Fish and Wildlife Restoration and Recovery Program (e.g., Partners, Coastal, Fisheries, Wildlife and Sport Fish Restoration, Refuges)?

No

29. Will the proposed project result in changes to beach dynamics that may modify formation of habitat over time?

Note: Examples of projects that result in changes to beach dynamics include 1) construction of offshore breakwaters and groins; 2) mining of sand from an updrift ebb tidal delta; 3) removing or adding beach sands; and 4) projects that stabilize dunes (including placement of sand fences or planting vegetation).

No

30. [Hidden Semantic] Is the project area located within the roseate tern AOI?

Automatically answered

Yes

31. If you have determined that the roseate tern is unlikely to occur within your project's action area or that your project is unlikely to have any potential effects on the roseate tern, you may wish to make a "no effect" determination for the roseate tern. Additional guidance on how to make this decision can be found in the project review section of your local Ecological Services Field Office's website. CBFO: <https://www.fws.gov/office/chesapeake-bay-ecological-services/project-review> ; MEFO: <https://www.fws.gov/office/maine-ecological-services> ; NJFO: <https://www.fws.gov/office/new-jersey-ecological-services/new-jersey-field-office-project-review-guide> ; NEFO: <https://www.fws.gov/office/new-england-ecological-services/endangered-species-project-review#Step5> ; WVFO: <https://www.fws.gov/office/west-virginia-ecological-services/project-planning>. If you are unsure, answer "No" and continue through the key.

Would you like to make a no effect determination for the roseate tern?

Yes

32. [Semantic] Does the project intersect the Virginia big-eared bat critical habitat?

Automatically answered

No

33. [Semantic] Does the project intersect the Indiana bat critical habitat?

Automatically answered

No

34. [Semantic] Does the project intersect the candy darter critical habitat?

Automatically answered

No

35. [Semantic] Does the project intersect the diamond darter critical habitat?

Automatically answered

No

36. [Semantic] Does the project intersect the Big Sandy crayfish critical habitat?

Automatically answered

No

37. [Hidden Semantic] Does the project intersect the Guyandotte River crayfish critical habitat?

Automatically answered

No

38. Do you have any other documents that you want to include with this submission?

No

PROJECT QUESTIONNAIRE

1. Approximately how many acres of trees would the proposed project remove?
0
 2. Approximately how many total acres of disturbance are within the disturbance/
construction limits of the proposed project?
0.28
 3. Briefly describe the habitat within the construction/disturbance limits of the project site.
no habitat
-

IPAC USER CONTACT INFORMATION

Agency: Freeman Companies

Name: Michelle Rudy

Address: 36 John Street

City: Hartford

State: CT

Zip: 06106

Email: mrudy@freemancos.com

Phone: 8602519550

LEAD AGENCY CONTACT INFORMATION

Lead Agency: Economic Development Administration

Name: Christopher Landino

Email: Landino@careerresources.org

Phone: 2035128979

THE BRIDGE ON MAIN

BIOLOGICAL ANALYSIS

Prepared using IPaC

Generated by Michelle Rudy (mrudy@freemancos.com)

June 29, 2023

The purpose of this document is to assess the effects of the proposed project and determine whether the project may affect any federally threatened, endangered, proposed, or candidate species. If appropriate for the project, this document may be used as a biological assessment (BA), as it is prepared in accordance with legal requirements set forth under [Section 7 of the Endangered Species Act \(16 U.S.C. 1536 \(c\)\)](#).

In this document, any data provided by U.S. Fish and Wildlife Service is based on data as of June 29, 2023.

Prepared using IPaC version 6.94.0-rc4

THE BRIDGE ON MAIN BIOLOGICAL ASSESSMENT

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1 DESCRIPTION OF THE ACTION

1.1 PROJECT NAME

The Bridge on Main

1.2 EXECUTIVE SUMMARY

The project, whose building footprint covers the entire site, is located in a highly urbanized downtown area with no suitable habitat for the three species of concern identified.

1.3 EFFECT DETERMINATION SUMMARY

SPECIES (COMMON NAME)	SCIENTIFIC NAME	LISTING STATUS	PRESENT IN ACTION AREA	EFFECT DETERMINATION
Monarch Butterfly	Danaus plexippus	Candidate	Excluded from analysis	Excluded from analysis
Northern Long-eared Bat†. This species or critical habitat is covered by a DKey.	Myotis septentrionalis	Endangered		NE
Roseate Tern†. This species or critical habitat is covered by a DKey.	Sterna dougallii dougallii	Endangered		NE

† This species or critical habitat is covered by a DKey.

1.4 PROJECT DESCRIPTION

1.4.1 LOCATION



LOCATION

Fairfield County, Connecticut

1.4.2 DESCRIPTION OF PROJECT HABITAT

none

1.4.3 PROJECT PROPONENT INFORMATION

Provide information regarding who is proposing to conduct the project, and their contact information. Please provide details on whether there is a Federal nexus.

REQUESTING AGENCY

Freeman Companies

FULL NAME

Michelle Rudy

STREET ADDRESS

36 John Street

CITY

Hartford

STATE

CT

ZIP

06106

PHONE NUMBER

8602519550

E-MAIL ADDRESS

mrudy@freemancos.com

LEAD AGENCY

Department of Commerce

Economic Development Administration

1.4.4 PROJECT PURPOSE

Renovation of an existing building for purposes of building a social services agency.

1.4.5 PROJECT TYPE AND DECONSTRUCTION

This project is a building renovation project.

1.4.5.1 PROJECT MAP



LEGEND



Project footprint



Layer 1: Building renovation

1.4.5.2 BUILDING RENOVATION

ACTIVITY START DATE

July 01, 2023

ACTIVITY END DATE

October 01, 2024

STRESSORS

This activity is not expected to have any impact on the environment.

DESCRIPTION

Interior and exterior facade renovation to an existing building. Building covers the entire property.

1.4.6 ANTICIPATED ENVIRONMENTAL STRESSORS

Describe the anticipated effects of your proposed project on the aspects of the land, air and water that will occur due to the activities above. These should be based on the activity deconstructions done in the previous section and will be used to inform the action area.

1.5 ACTION AREA



LEGEND



Project footprint



Stressor location

1.6 CONSERVATION MEASURES

Describe any proposed measures being implemented as part of the project that are designed to reduce the impacts to the environment and their resulting effects to listed species. To avoid extra verbiage, don't list measures that have no relevance to the species being analyzed.

No conservation measures have been selected for this project.

1.7 PRIOR CONSULTATION HISTORY

none

1.8 OTHER AGENCY PARTNERS AND INTERESTED PARTIES

Federal - Economic Development Administration

1.9 OTHER REPORTS AND HELPFUL INFORMATION

Connecticut Department of Energy and Environmental Protection (CT DEEP) natural diversity database map of project area

RELEVANT DOCUMENTATION

- [Attachment N - Natural Diversity Database CT Eco](#)

2 SPECIES EFFECTS ANALYSIS

This section describes, species by species, the effects of the proposed action on listed, proposed, and candidate species, and the habitat on which they depend. In this document, effects are broken down as direct interactions (something happening directly to the species) or indirect interactions (something happening to the environment on which a species depends that could then result in effects to the species).

These interactions encompass effects that occur both during project construction and those which could be ongoing after the project is finished. All effects, however, should be considered, including effects from direct and indirect interactions and cumulative effects.

2.1 MONARCH BUTTERFLY

This species has been excluded from analysis in this environmental review document.

JUSTIFICATION FOR EXCLUSION

The building footprint covers the entire site and there is no suitable habitat for the butterfly.

3 CRITICAL HABITAT EFFECTS ANALYSIS

No critical habitats intersect with the project action area.

4 SUMMARY DISCUSSION AND CONCLUSION

4.1 SUMMARY DISCUSSION

No effect. There is no habitat within the project area.

4.2 CONCLUSION

There is no habitat within the project boundaries therefore no effect on critical species is expected.

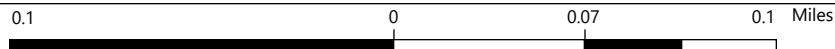
Appendix J



Legend

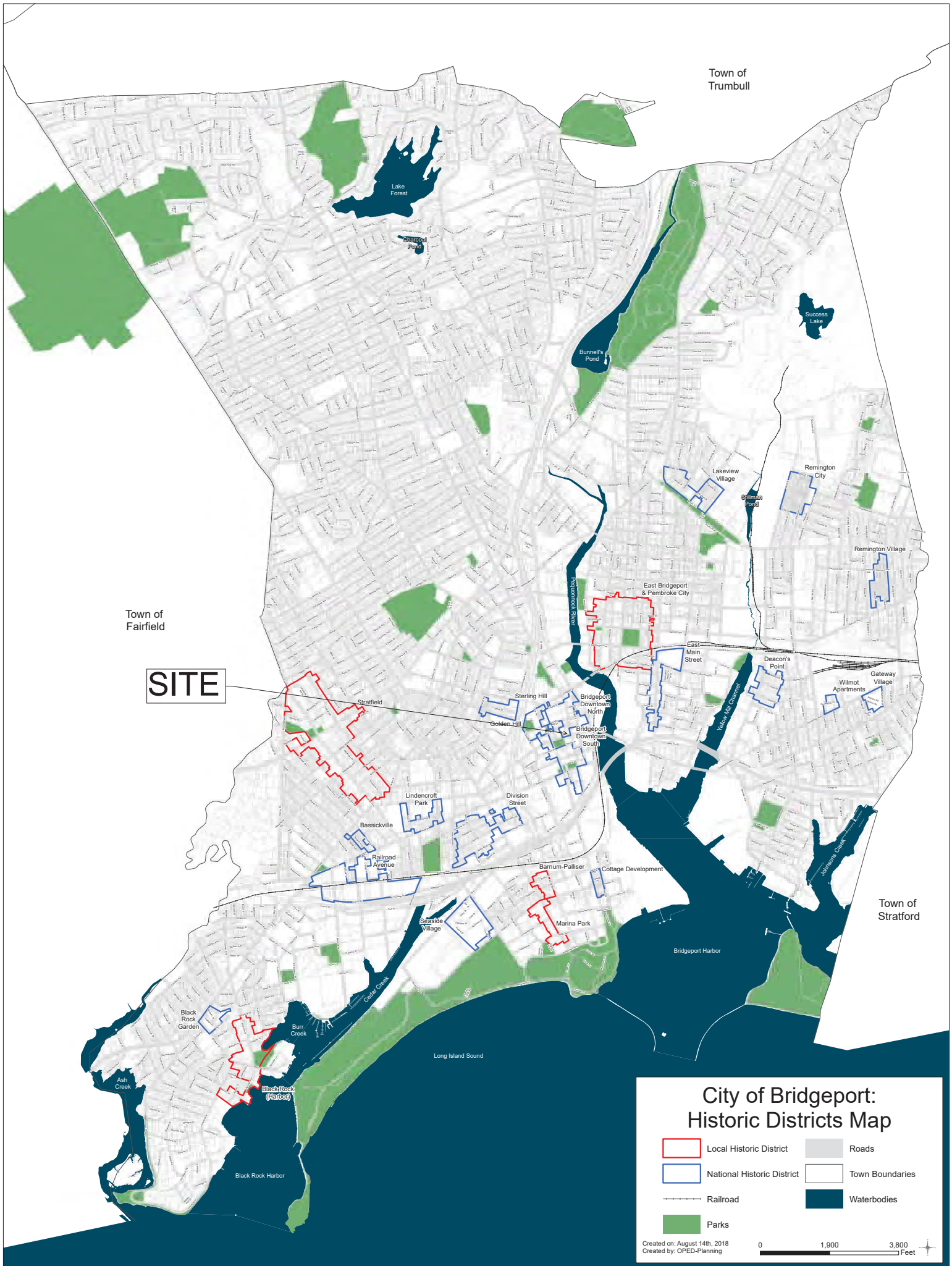
- Town Boundary
 - State Boundary
 - Town Boundary
 - Coastline
- Farmland Soils
 - Prime Farmland Soils
 - Statewide Important Farmland Soils
 - Locally Important Farmland Soils
- Soil Parent Material
 - Moderate to Bedrock
 - Moderate - Shallow to Bedrock
 - Shallow to Bedrock
 - Glaciofluvial - Shallow to Bedrock
 - Glaciofluvial
 - Melt-out Till
 - Melt-out Till - Moderate to Bedrock
 - Melt-out Till - Shallow to Bedrock
 - Deep Organic - Inland
 - Shallow Organic - Inland
 - Deep Organic - Tidal
 - Shallow Organic - Tidal
 - Alluvial/Floodplain
 - Glaciolacustrine
 - Lodgement Till
 - Urban Influenced
- Geographic Names7

Notes



This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Appendix K



Town of Trumbull

Town of Fairfield

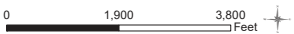
SITE

Town of Stratford

City of Bridgeport: Historic Districts Map

- Local Historic District
- National Historic District
- Railroad
- Parks
- Roads
- Town Boundaries
- Waterbodies

Created on: August 14th, 2018
Created by: OPED-Planning





Department of Economic and
Community Development

State Historic Preservation Office

August 31, 2023

Ms. Mary G. Murano
Career Resources, Inc.
1000 Lafayette Blvd
Bridgeport, CT 06604

Subject: The Bridge on Main
1085 Main Street
Bridgeport, CT
ENV-24-0146

Dear Ms. Murano:

The State Historic Preservation Office has reviewed the information submitted for the above-named property pursuant to Section 106 of the National Historic Preservation Act and the Connecticut Environmental Policy Act.

The property located at 1085 Main Street, the former F. W. Woolworth Company (1945/1946, Art Deco; Earl S. Glover, Architect), is located within the National Register of Historic Places listed Bridgeport Downtown North Historic District (NR# 96000428). The property is currently being considered as a contributing resource to a new, single downtown Bridgeport Historic District.

The proposed scope of work includes rehabilitation of the entirety of the building, including new storefronts on the ground level, installation of new elevator, interior build out, and installation of rooftop solar panels.

Following a site visit with SHPO staff, the following recommendations were made for incorporation into the scope of work:

- The fenestration pattern on the ground level should continue to match the historic storefront configuration. Interior areas that require opaque exteriors should be sited to take advantage of existing walls;
- The interior stairs (2) leading from the main floor to the basement level should be retained and repaired, including wood veneer. Where retention is not possible, effort should be made to replace in kind;
- Exterior chrome trim around the canopy should be retained and repaired;
- Cleaning and repair of exterior terra cotta should be carefully evaluated, with recommendations for treatment, with mock ups, submitted to SHPO for review and comment.

State Historic Preservation Office

450 Columbus Boulevard, Suite 5 | Hartford, CT 06103 | P: 860.500.2300 | ct.gov/historic-preservation

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Department of Economic and
Community Development

State Historic Preservation Office

Contingent on the scope of work incorporating the recommendations above, the proposed scope will have no adverse effect to historic resources. Should the scope of work change, this office should be contacted for additional consultation.

The State Historic Preservation Office appreciates the opportunity to review and comment upon this project. These comments are provided in accordance with the Connecticut Environmental Policy Act and Section 106 of the National Historic Preservation Act. For further information please contact Marena Wisniewski, Environmental Reviewer, at (860) 500-2357 or marena.wisniewski@ct.gov.

Sincerely,

A handwritten signature in black ink that reads "Jonathan Kinney". The signature is written in a cursive style with a long, sweeping underline.

Jonathan Kinney
State Historic Preservation Officer

State Historic Preservation Office

450 Columbus Boulevard, Suite 5 | Hartford, CT 06103 | P: 860.500.2300 | ct.gov/historic-preservation

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Tribal Directory Assessment Tool (TDAT) List for 1085 Main Street, Bridgeport

Tribal Name	Last Name	First Name	Title	Street Address	City	State	Zip Code	Work Phone	Fax Number	Email	THPCURL	Last Update Datetime	
Delaware Nation, Oklahoma	Dotson	Deborah	President	31064 State Highway 281, Building 100	Anadarko	OK	73005	(405) 247-2448	(405) 247-9393	ddotson@delawarenation-nsn.gov	N	http://www.delawarenation.com	26-Feb-2024 11:06:57
Delaware Nation, Oklahoma	Lucas	Katelyn	THPO	P.O. Box 825	Anadarko	OK	73005	405-544-8115		kucas@delawarenation-nsn.gov	N	http://www.delawarenation.com	26-Feb-2024 11:06:57
Delaware Tribe of Indians	Bachor	Susan	THPO	5100 Tuxedo Blvd	Bartlesville	OK	64006	539.529.1671	(435) 734-0424	sbachor@delawaretribe.org			03-Apr-2024 12:52:09
Delaware Tribe of Indians	Heady	Larry	THPO	125 Dorry Lane	Grants Pass Oregon	OR	97527	262-825-7586		lheady@delawaretribe.org	Y	http://www.delawaretribe.org	04-May-2023 13:47:47
Delaware Tribe of Indians	Killscrow	Brad	Chief	5100 Tuxedo Blvd.	Bartlesville	OK	74006	(918) 337-6590	(918) 337-6591	bkillscrow@delawaretribe.org	N	http://www.delawaretribe.org	07-Nov-2024 10:28:03
Mashantucket Pequot Indian Tribe	Butler	Rodney	Chairman	2 Matts Path	Mashantucket	CT	06338	(860) 396-6572	(860) 396-6288	rodneybutler@mptn.org	N	https://www.mptn-nsn.gov/default.aspx	22-Aug-2024 11:23:50
Mashantucket Pequot Indian Tribe	Hay	Stormy	Deputy THPO	110 Pequot Trail	Mashantucket	CT	06338	(860) 396-7543		thpo@mptn.org	Y	https://www.mptn-nsn.gov/default.aspx	29-Oct-2024 16:17:21
Mashantucket Pequot Indian Tribe	Johnson	Michael E	THPO	110 Pequot Trail	Mashantucket	CT	06338	(860) 396-7575		thpo@mptn.org	Y	https://www.mptn-nsn.gov/default.aspx	07-Oct-2024 16:18:42
Mohegan Tribe of Indians of Connecticut	Gessner	R. James	Chairman	13 Crow Hill Road	Uncasville	CT	06382	(860) 862-6100	(860) 862-6153	communications@moheganmail.com	N	http://www.mohegan.nsn.us/	07-Nov-2024 10:28:21
Mohegan Tribe of Indians of Connecticut	Quinn	James	THPO	13 Crow Hill Rd.	Uncasville	CT	06382	860-862-6893	860-862-6395	jquinn@moheganmail.com	Y	http://www.mohegan.nsn.us/	26-Feb-2024 11:07:52
Mohegan Tribe of Indians of Connecticut	Thomas	Elaine	Deputy THPO	13 Crow Hill Road	Uncasville	CT	06382	(860) 862-6893	(860) 862-6395	ethomas@moheganmail.com	N	http://www.mohegan.nsn.us/	31-Jan-2023 21:05:56
Narragansett Indian Tribe	Brown	John	Tribal Preservation Officer	4425 S. County Trail	Charlestown	RI	02813	(401) 585-0142	(401) 539-4217	tashtesook@aol.com	Y	http://narragansettindiannation.org/	26-Feb-2024 11:08:07
Narragansett Indian Tribe	Stanton	Anthony	Chief Sachem	4533 South County Trail	Charlestown	RI	02813	(401) 364-1100	(401) 364-1104	adstanton@nitribe.org	N	http://narragansettindiannation.org/	07-Nov-2024 10:28:21
Stockbridge Munsee Community, Wisconsin	Bendremer	Jeffery C	THPO	86 Spring Street	Williamstown	MA	01267	413-884-6029	715 793-1307	thpo@mohican-nsn.gov	Y	http://www.mohican-nsn.gov	30-May-2024 10:24:46
Stockbridge Munsee Community, Wisconsin	Bendremer	Jeffery C.	THPO	86 Spring Street	Williamstown	MA	01267	413-884-6029		thpo@mohican-nsn.gov	Y	http://www.mohican-nsn.gov	26-Feb-2024 11:09:40
Stockbridge Munsee Community, Wisconsin	Holsey	Shannon	President	N8476 Mo He Con Nuck Road	Bowler	WI	54416	(715) 793-4111	(715) 793-1307	shannon.holsey@mohican-nsn.gov	N	http://www.mohican-nsn.gov	30-May-2024 10:23:19
Stockbridge Munsee Community, Wisconsin	Holsey	Shannon	President	N8476 Mo He Con Nuck Road	Bowler	WI	54416	(715) 793-4111	(715) 793-1307	shannon.holsey@mohican-nsn.gov	N	http://www.mohican-nsn.gov	30-May-2024 10:23:19
Stockbridge Munsee Community, Wisconsin	Miller	Wally	Chairman	N. 8476 Mo He Con Nuck Road	Bowler	WI	54416	(715) 793-4387	(715) 793-1307	wally.miller@mohican-nsn.gov	N	http://www.mohican-nsn.gov	30-May-2024 10:21:24
Stockbridge Munsee Community, Wisconsin	Miller	Wally	Chairman	N 8476 Mo He Con Nuck Road	Bowler	WI	54416	(715) 793-4387	(715) 793-1307	wally.miller@mohican-nsn.gov	N	http://www.mohican-nsn.gov	30-May-2024 10:21:24

From: [Rivera, Miguel](#)
To: shannon.holsey@mohican-nsn.gov
Cc: Landino@careerresources.org; [Michelle Rudy](#)
Subject: Bridge on Main Resource Center Tribal Historic Notification
Date: Thursday, January 30, 2025 6:09:30 PM
Attachments: [image001.png](#)
[Location Map with Area of Potential Effect - Bridge on Main.pdf](#)

[External]

CAUTION: This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Ms. Holsey,

Bridge on Main Resource Center |Career Resources, Inc. is considering funding the project listed above with federal funds from the U.S. Department of Housing and Urban Development (HUD). Bridge on Main Resource Center |Career Resources, Inc. is conducting a review of this project to ensure compliance with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800, including tribal consultation related to historic properties. Historic properties include archeological sites, burial grounds, sacred landscapes or features, ceremonial areas, traditional cultural places and landscapes, plant and animal communities, buildings and structures with significant tribal associations.

Based on a recent review of HUD's Tribal Directory Assessment Tool (TDAT; <https://egis.hud.gov/tdat/>), we have identified your tribe to have an expressed interest in this project area.

Connecticut's Department of Housing in collaboration with the funding grantee, Bridge on Main Resource Center |Career Resources, Inc. will conduct a review of this project to comply with Section 106 of the National Historic Preservation Act and its implementing regulations 36 CFR Part 800. We would like to invite you to be a consulting party in this review to help identify historic properties in the project area that may have religious and cultural significance to your tribe, and if such properties exist, to help assess how the project might affect them. If the project might have an adverse effect, we would like to discuss possible ways to avoid, minimize or mitigate potential adverse effects. The Connecticut State Historic Preservation Office (SHPO) has

reviewed the project and determined that the building is located within the National Register of Historic Places listed Bridgeport Downtown North Historic District. The property is currently being considered as a contributing resource to a new, single downtown Bridgeport Historic District. SHPO recommended that the building facades remain intact as well as the main stairwells inside the building.

To meet project timeframes, if you would like to be a consulting party on this project, can you please let us know of your interest within 30 days of receipt of this letter. If you have any initial concerns with the impact of the project on religious or cultural properties, can you please note them in your response?

Enclosed is a map that shows the project location and site details. See below for a description of the project.

Proposed Project

The Bridge on Main Resource Center |Career Resources, Inc.has launched an \$18 million capital campaign in the interest of creating a public-private investment to outfit the building at 1085 Main Street (Site) into a collaborative resource center. The Bridge on Main will serve Bridgeport's citizens returning from incarceration and other system-impacted individuals with easy and timely access to job training and placement services, in conjunction with critical workforce support, to address barriers to employment and economic equity. These residents disproportionately represent communities of color who are often faced with significant inequity when attempting to access employment opportunities.

Bridge on Main Resource Center |Career Resources, Inc. has purchased and is proposing to remodel an existing storefront commercial mixed-use facility. Programmatic partners, who are the direct beneficiaries of the project are currently situated in various locations throughout the Greater Bridgeport Area; however, their main interaction with the project will be through satellite offices, set up at the Site building itself.

The building was built in 1947 and is a three-story vacant commercial/department store-type building with a 10,660 square foot

footprint and approximately 42,640 square feet of gross living area, including the basement level, which is slated to be finished into useable space. The building has been largely gutted of interior structures and finishes and has had the former gas-fired heating system removed. The roof is flat and consists of built-up tar and gravel.

The interior of the building is proposed to be renovated into a combination of offices, meeting rooms, classrooms, collaborative space, a clinic, a multi-purpose event space including a commercial kitchen, a public-facing coffee shop on the first floor as well as a rooftop garden and solar panels. A new HVAC system will be installed. The construction is scheduled to take place immediately following approval of plans by the Bridgeport Planning and Zoning Department and should take 14-16 months to complete, barring unforeseen difficulties. The construction staging area would be located entirely within the existing right-of-way. No major groundbreaking activities are scheduled. Minor disturbances may be required to connect new infrastructure to existing utilities.

More information on the Section 106 review process is available at <http://www.onecpd.info/environmental-review/historic-preservation/>. HUD's process for tribal consultation under Section 106 is described in a Notice available at <https://www.onecpd.info/resource/2448/notice-cpd-12-006-tribal-consultation-under-24-cfr-part-58>.

If you do not wish to consult on this project, can you please inform us? If you do wish to consult, can you please include in your reply the name and contact information for the tribe's principal representative in the consultation? Thank you very much. We value your assistance and look forward to consulting further if there are historic properties of religious and cultural significance to your tribe that may be affected by this project.

Attachments:

Location Map with Area of Potential Effect

PLEASE CONTINUE TO SOCIAL DISTANCE AND WEAR A MASK WHEN INDOORS.

Miguel Ángel Rivera
Office of Housing and Community Development, Manager



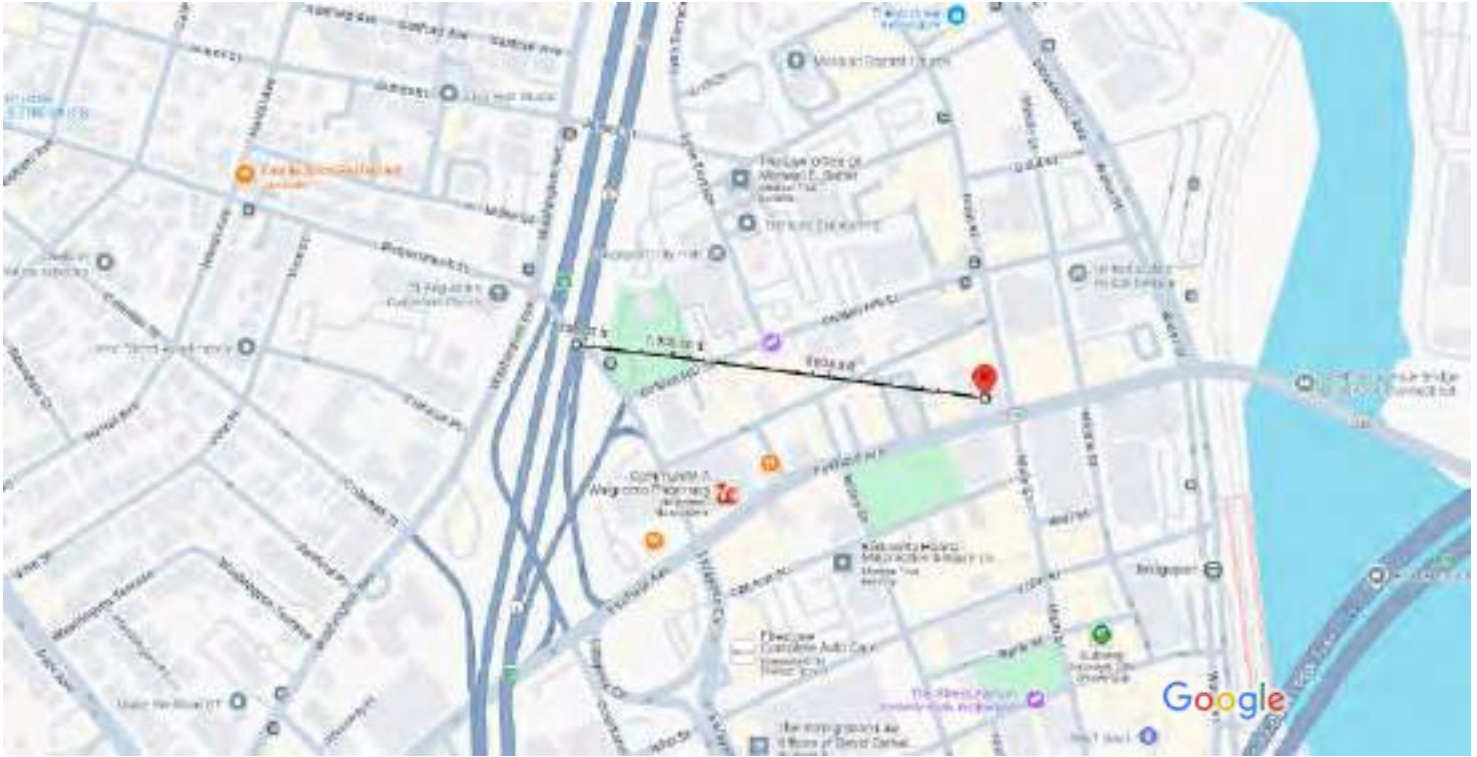
Department of Housing
505 Hudson Street, Hartford, CT 06106
Phone: 860-270-8012
Cellular: 860-680-2416
Email: rivera.miguel@ct.gov

“Trust, but verify” – President Ronald Wilson Reagan

Appendix L

1085 Main St

Distance to Route 8



Map data ©2025 Google 200 ft



1085 Main St

Building



Directions



Save



Nearby



Send to phone



Share



1085 Main St, Bridgeport, CT 06604

Photos

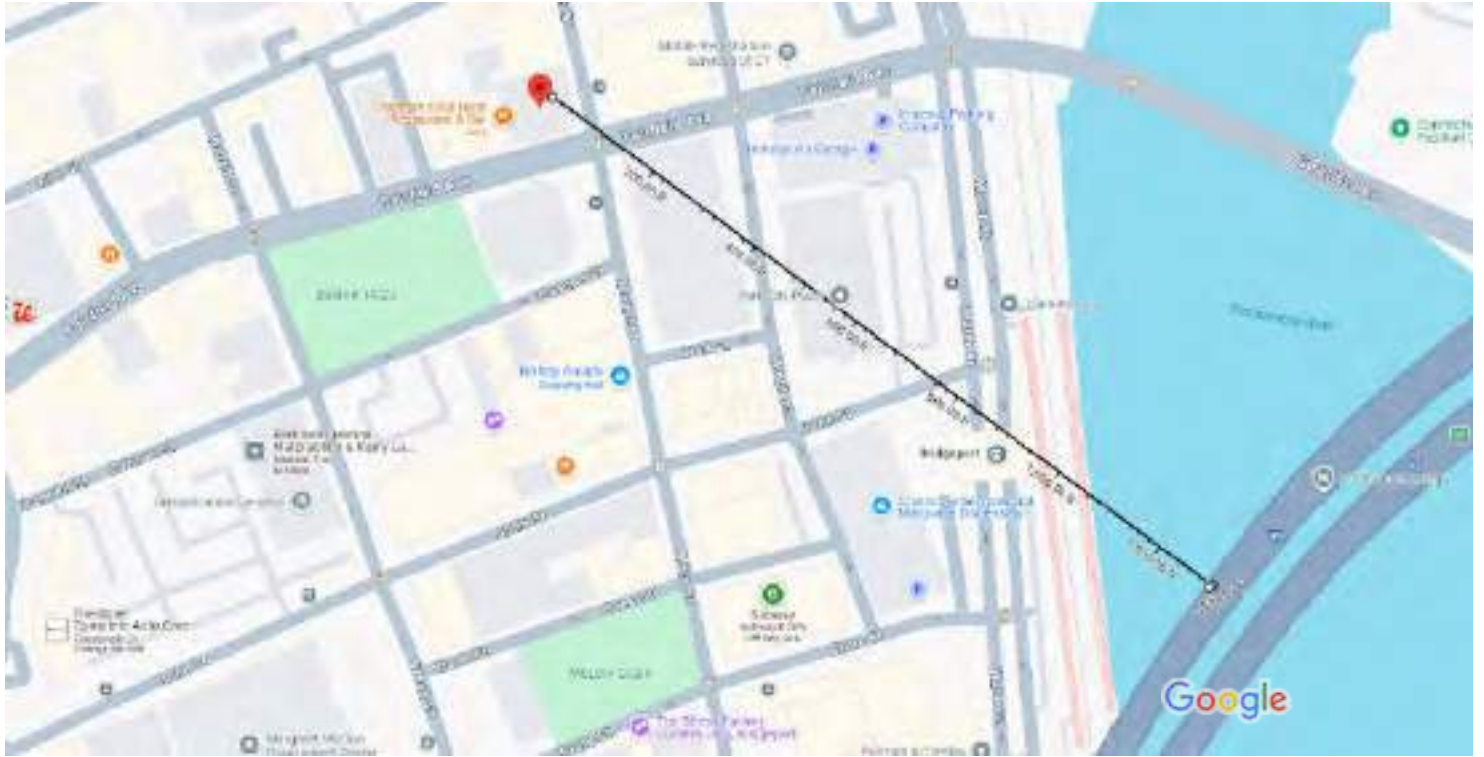


Measure distance

Total distance: 1,308.03 ft (398.69 m)

1085 Main St

Distance to I-95



Map data ©2025 Google 100 ft



1085 Main St

Building



Directions



Save



Nearby



Send to phone



Share



1085 Main St, Bridgeport, CT 06604

Photos



Measure distance

Total distance: 1,309.24 ft (399.06 m)

1085 Main St

Distance to Railroad Tracks



Map data ©2025 Google 100 ft



1085 Main St

Building



Directions



Save



Nearby



Send to phone

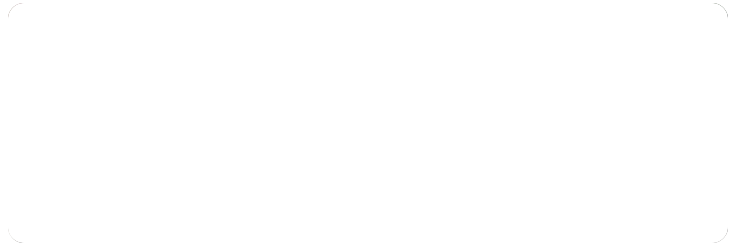


Share



1085 Main St, Bridgeport, CT 06604

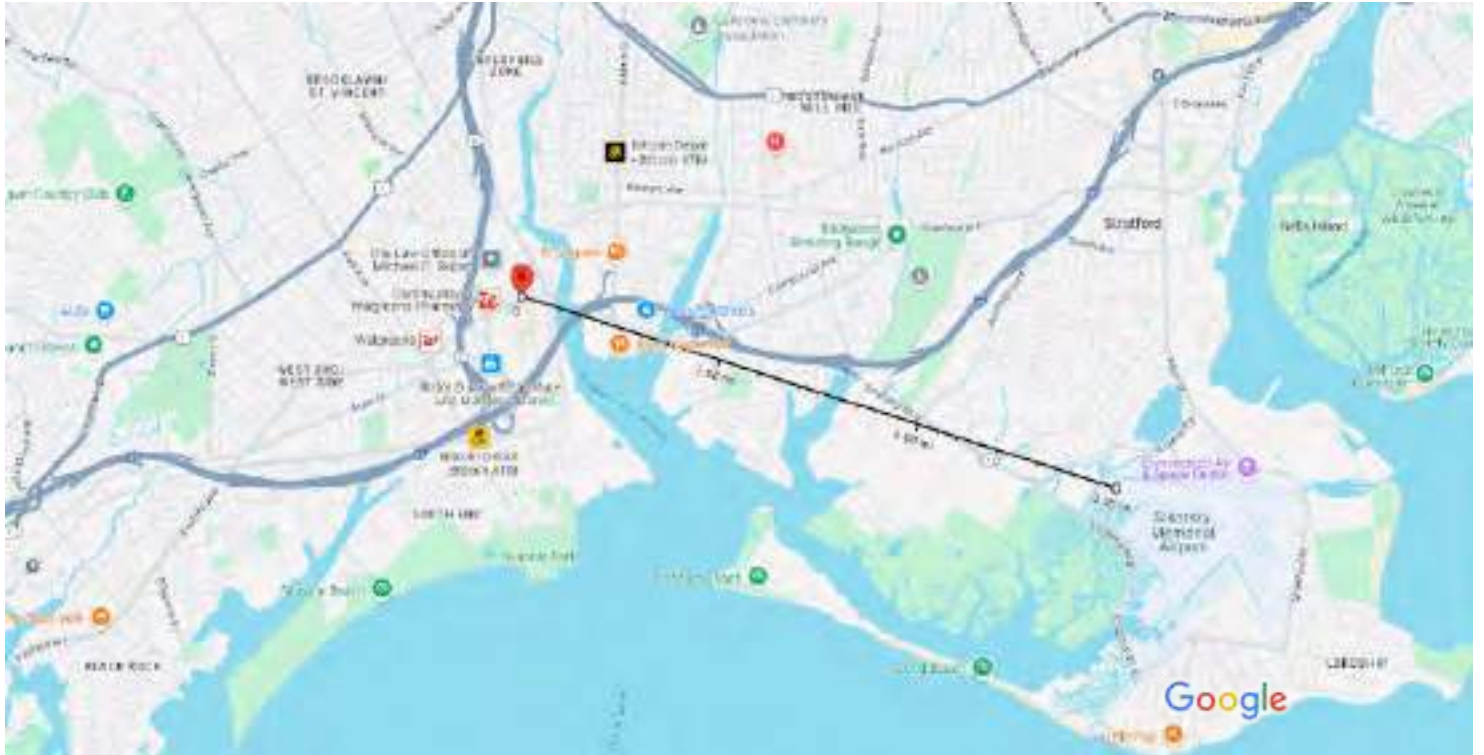
Photos



Measure distance
Total distance: 750.79 ft (228.84 m)

1085 Main St

Distance to Airport



Map data ©2025 Google 2000 ft



1085 Main St

Building



Directions



Save



Nearby



Send to phone



Share

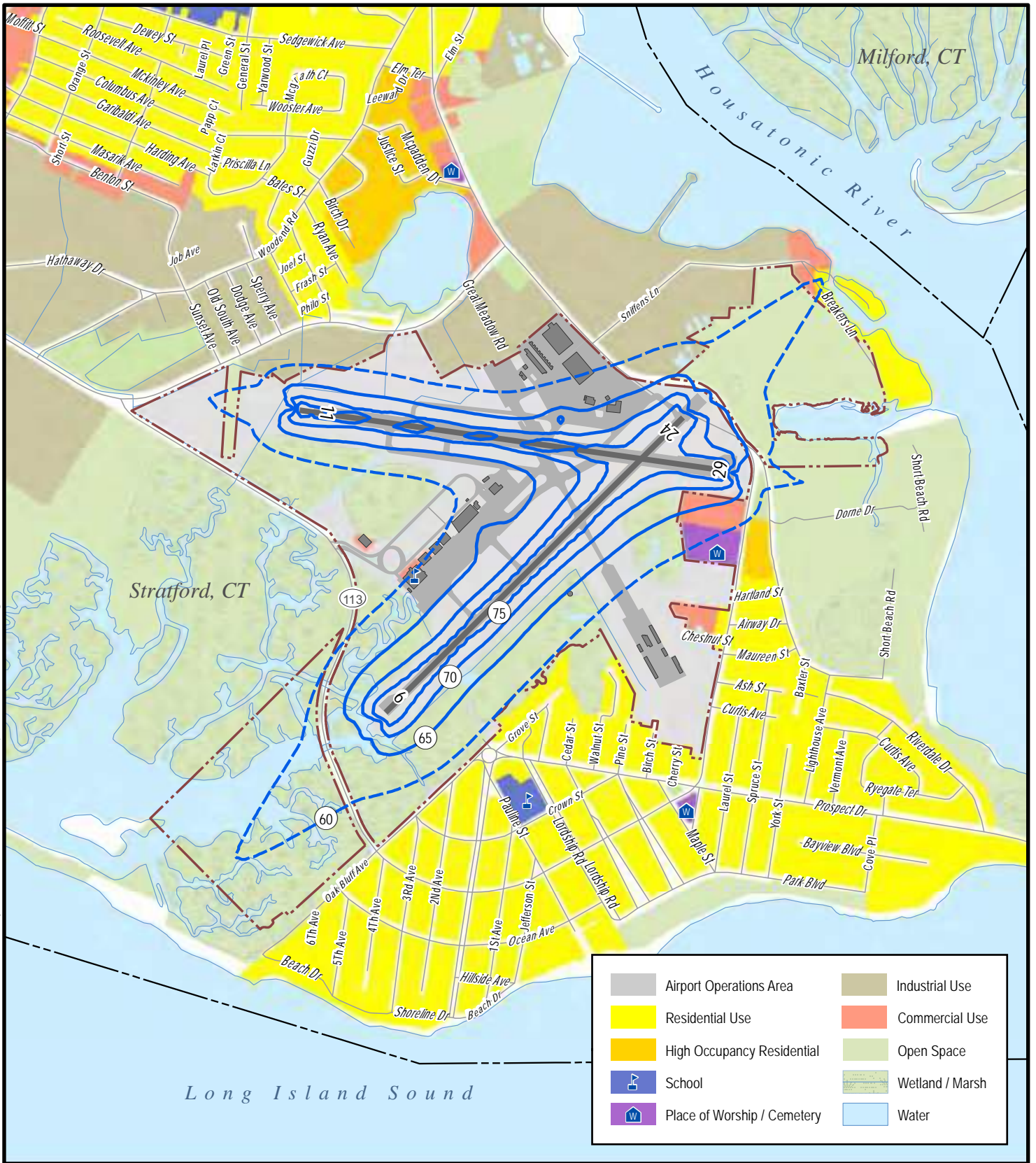


1085 Main St, Bridgeport, CT 06604

Photos



Measure distance
Total distance: 3.00 mi (4.83 km)



	Airport Operations Area		Industrial Use
	Residential Use		Commercial Use
	High Occupancy Residential		Open Space
	School		Wetland / Marsh
	Place of Worship / Cemetery		Water

- 2026 DNL Contour (60 dB For Informational Purposes Only)
- 2026 DNL Contour (65-75 dB)
- Airport Boundary
- Runways / Taxiways
- Municipal Boundary
- Highway
- Primary Roads
- Secondary Roads
- Local Roads

Igor I Sikorsky Memorial Airport

Figure ES-2
Forecast Conditions (2026) Noise Exposure Map



Site ID

The Bridge on Main

Record Date

01/02/2025

User's Name

Freeman Companies

Railroad #1 Track Identifier:**Rail # 1****Train Type****Electric** **Diesel**

Effective Distance

750

750

Average Train Speed

80

40

Engines per Train

1

1

Railway cars per Train

5

10

Average Train Operations (ATO)

125

15

Night Fraction of ATO

60

3

Railway whistles or horns?

Yes: No: Yes: No:

Bolted Tracks?

Yes: No: Yes: No: **Train DNL**

57

55

Calculate Rail #1 DNL

59

Reset

Add Road Source

Add Rail Source

<input type="text" value="Add Road Source"/> <input type="text" value="Add Rail Source"/>	
Airport Noise Level	<input type="text"/>
Loud Impulse Sounds?	<input type="radio"/> Yes <input checked="" type="radio"/> No
Combined DNL for all Road and Rail sources	59
Combined DNL including Airport	N/A
Site DNL with Loud Impulse Sound	<input type="text"/>
<input type="button" value="Calculate"/> <input type="button" value="Reset"/>	

Mitigation Options

If your site DNL is in Excess of 65 decibels, your options are:

- **No Action Alternative:** Cancel the project at this location
- **Other Reasonable Alternatives:** Choose an alternate site
- **Mitigation**
 - Contact your Field or Regional Environmental Officer (</programs/environmental-review/hud-environmental-staff-contacts/>)
 - Increase mitigation in the building walls (only effective if no outdoor, noise sensitive areas)
 - Reconfigure the site plan to increase the distance between the noise source and noise-sensitive uses
 - Incorporate natural or man-made barriers. See *The Noise Guidebook* (</resource/313/hud-noise-guidebook/>)
 - Construct noise barrier. See the **Barrier Performance Module** (</programs/environmental-review/bpm-calculator/>)

Tools and Guidance

Day/Night Noise Level Assessment Tool User Guide (</resource/3822/day-night-noise-level-assessment-tool-user-guide/>)

Day/Night Noise Level Assessment Tool Flowcharts (</resource/3823/day-night-noise-level->

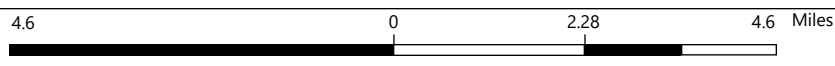
Appendix M



Legend

- Town Boundary
- State Boundary
- Town Boundary
- Coastline
- Aquifer Protection Area**
 - Final Adopted Aquifer Protection
 - Final Aquifer Protection
 - Preliminary Aquifer Protection
- Wellhead Protection Areas - A**
 - MA Wellfield
 - RI Wellfield
- Geographic Names4**
- Geographic Place 1**
- Airport**
 - Airport
 - Heliport
- Railroad**
- Routes 4**
 - Interstate
 - US Route
 - State Route
- County Line**
 - State Boundary
 - County Boundary
 - Coastline
 - County Name

1: 144,448



This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Notes

Appendix N



U.S. Fish and Wildlife Service National Standards and Support Team,
wetlands_team@fws.gov

June 8, 2023

- | | | | | | |
|---|--------------------------------|---|-----------------------------------|---|----------|
|  | Estuarine and Marine Deepwater |  | Freshwater Emergent Wetland |  | Lake |
|  | Estuarine and Marine Wetland |  | Freshwater Forested/Shrub Wetland |  | Other |
| | |  | Freshwater Pond |  | Riverine |

This map is for general reference only. The US Fish and Wildlife Service is not responsible for the accuracy or currentness of the base data shown on this map. All wetlands related data should be used in accordance with the layer metadata found on the Wetlands Mapper web site.

Appendix O



U.S. FISH AND WILDLIFE WILD AND SCENIC RIVERS MAP

CONNECTICUT

Connecticut has approximately 5,828 miles of river, of which 39.3 miles are designated as wild & scenic—less than 1% of the state's river miles.

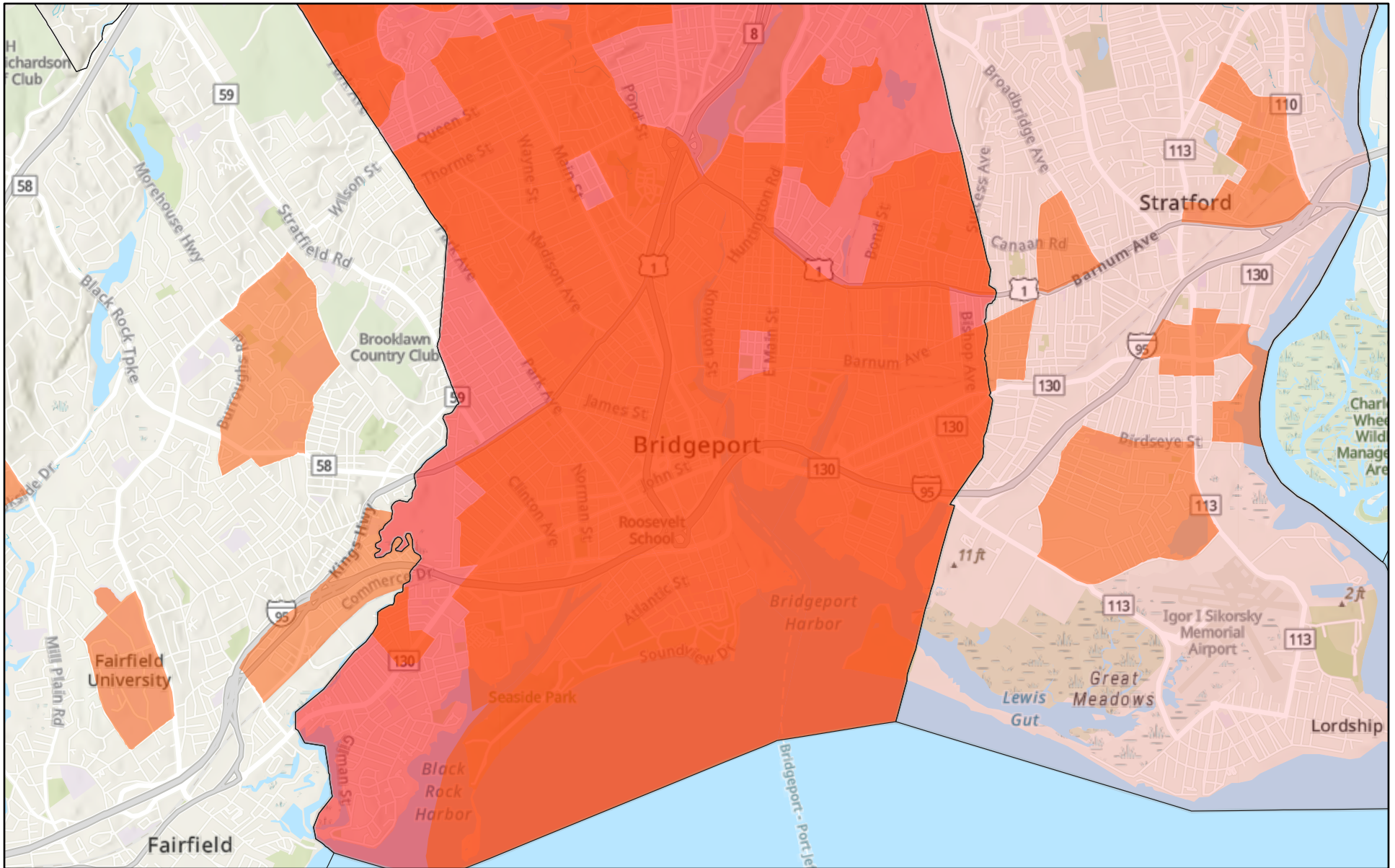


Still, white winters, subtle shades of spring green, lazy summer days, autumns lit with color, rivers in the Northeast showcase the seasons.

- Eightmile River**
- Farmington (Lower) River & Salmon Brook**
- Farmington (West Branch) River**
- Wood & Pawcatuck Rivers**

Appendix P

Connecticut Environmental Justice Communities



1/3/2025, 8:41:05 AM

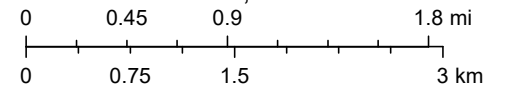
Environmental Justice Distressed Municipalities 2024

- Distressed Municipality
- Towns in Eligibility Grace Period

CT Towns

Environmental Justice Block Groups 2023

1:72,224



Esri, NASA, NGA, USGS, FEMA, GBRC, Esri, TomTom, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, USDA, USFWS

ArcGIS Web AppBuilder

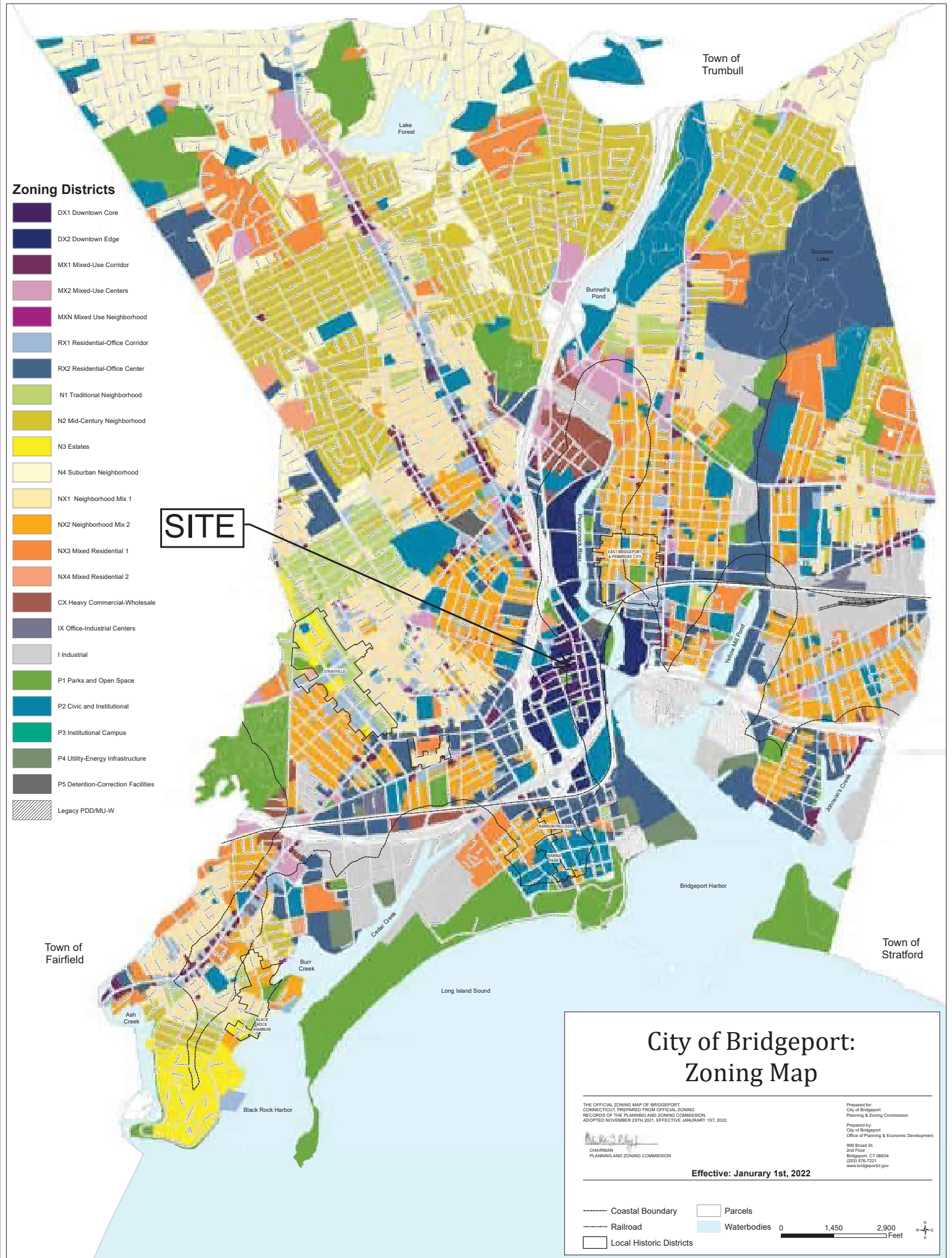
Esri, USGS | Esri, TomTom, Garmin, FAO, NOAA, USGS, EPA, USFWS | CTDEEP |

Appendix Q

Zoning Districts

- DX1 Downtown Core
- DX2 Downtown Edge
- MX1 Mixed-Use Corridor
- MX2 Mixed-Use Centers
- MXN Mixed Use Neighborhood
- RX1 Residential-Office Corridor
- RX2 Residential-Office Center
- N1 Traditional Neighborhood
- N2 Mid-Century Neighborhood
- N3 Estates
- N4 Suburban Neighborhood
- NX1 Neighborhood Mix 1
- NX2 Neighborhood Mix 2
- NX3 Mixed Residential 1
- NX4 Mixed Residential 2
- CX Heavy Commercial-Wholesale
- IX Office-Industrial Centers
- I Industrial
- P1 Parks and Open Space
- P2 Civic and Institutional
- P3 Institutional Campus
- P4 Utility-Energy Infrastructure
- P5 Detention-Correction Facilities
- Legacy PDD/MU-W

SITE



City of Bridgeport: Zoning Map

THE OFFICIAL ZONING MAP OF BRIDGEPORT, CONNECTICUT, PREPARED FROM OFFICIAL ZONING RECORDS OF THE PLANNING AND ZONING COMMISSION, ADOPTED NOVEMBER 25TH, 2021, EFFECTIVE JANUARY 1ST, 2022

Prepared for:
City of Bridgeport
Planning & Zoning Commission

Prepared by:
City of Bridgeport
Office of Planning & Economic Development

999 Broad St.
2nd Floor
Bridgeport, CT 06604
(203) 576-2221
www.bridgeportct.gov

CHAIRMAN
PLANNING AND ZONING COMMISSION

Effective: January 1st, 2022

----- Coastal Boundary Parcels

----- Railroad Waterbodies

Local Historic Districts

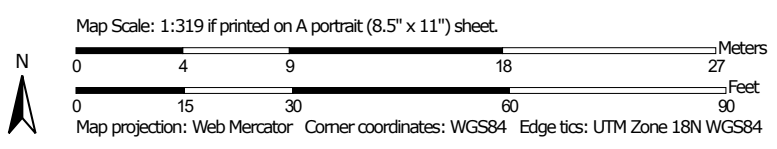
0 1,450 2,900 Feet

Appendix R

Soil Map—State of Connecticut, Western Part
(Bridge on Main - 1085 Main Street, Bridgeport, CT)




Soil Map may not be valid at this scale.




MAP LEGEND


Area of Interest (AOI)

 Area of Interest (AOI)

Soils

 Soil Map Unit Polygons

 Soil Map Unit Lines

 Soil Map Unit Points

Special Point Features



Blowout



Borrow Pit



Clay Spot



Closed Depression



Gravel Pit



Gravelly Spot



Landfill



Lava Flow



Marsh or swamp



Mine or Quarry



Miscellaneous Water



Perennial Water



Rock Outcrop



Saline Spot



Sandy Spot



Severely Eroded Spot



Sinkhole



Slide or Slip



Sodic Spot



Spoil Area



Stony Spot



Very Stony Spot



Wet Spot



Other



Special Line Features

Water Features



Streams and Canals

Transportation



Rails



Interstate Highways



US Routes



Major Roads



Local Roads

Background



Aerial Photography

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:12,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service

Web Soil Survey URL:

Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: State of Connecticut, Western Part

Survey Area Data: Version 2, Aug 30, 2024

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

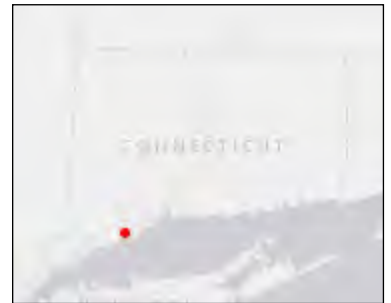
Date(s) aerial images were photographed: Oct 21, 2022—Oct 27, 2022

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Map Unit Legend

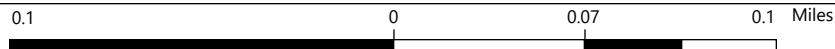
Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
307	Urban land	0.3	100.0%
Totals for Area of Interest		0.3	100.0%

Appendix S



Legend

- Town Boundary**
 - State Boundary
 - Town Boundary
 - Coastline
- Surface Water Quality Line**
 - A
 - AA
 - B, B*
 - SA
 - SB
- Surface Water Quality**
 - A
 - AA
 - B, B*
 - SA
 - SB
- Ground Water Quality Well**
- Ground Water Quality**
 - GA
 - GAA, GAAs
 - GB
 - GC
 - GA, GAA May be impaired
- Geographic Names7**
- Geographic Place 3**
- Airport**



This map is intended for general planning, management, education, and research purposes only. Data shown on this map may not be complete or current. The data shown may have been compiled at different times and at different map scales, which may not match the scale at which the data is shown on this map.

Notes

Appendix T

Freeman Companies
36 John Street
Hartford, CT 16106

PHOTOGRAPHIC LOG

Site Name: The Bridge on Main

Site Address: 1085 Main Street, Bridgeport

Project No. 2023-0604

Photo No.:

Date:

1

01/06/2025

Direction: North

Description:

View of Site building looking north.



Photo No.:

Date:

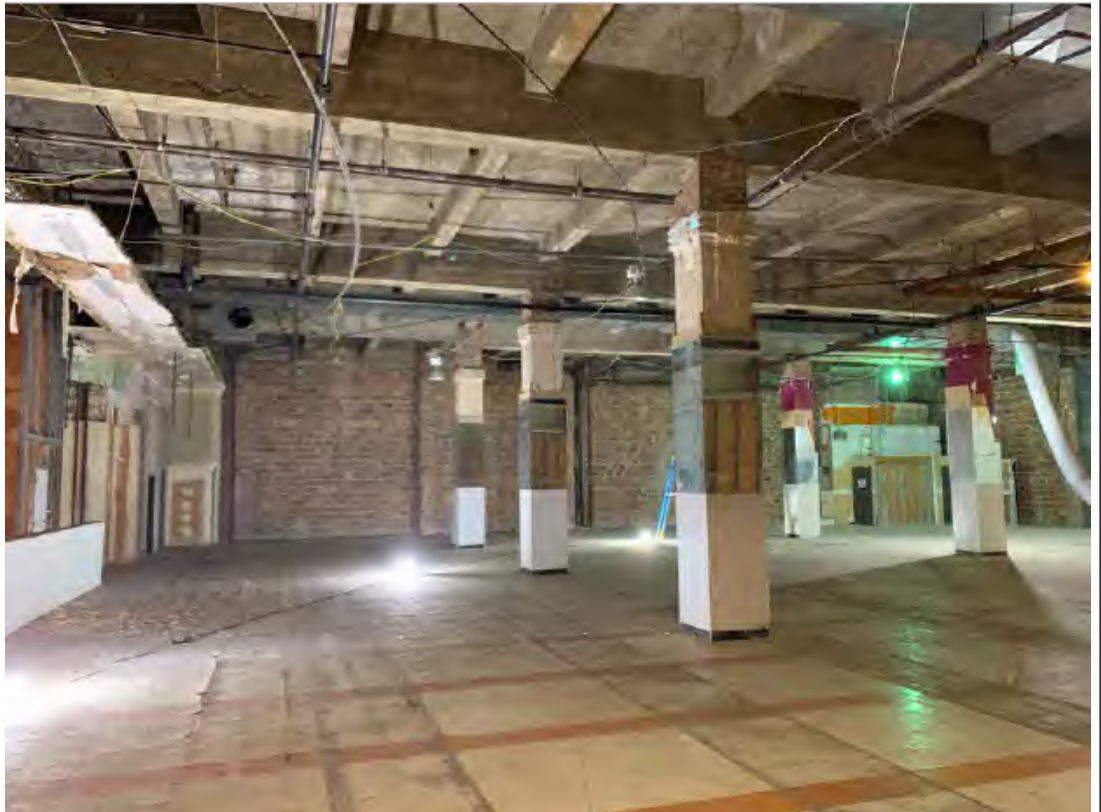
2

01/06/2025

Direction: West

Description:

First floor of the building which was formerly occupied by a Rite-Aid.



Freeman Companies
36 John Street
Hartford, CT 16106

PHOTOGRAPHIC LOG

Site Name: The Bridge on Main

Site Address: 1085 Main Street, Bridgeport

Project No. 2023-0604

Photo No.:

Date:

3

01/06/2023

Direction: West

Description:

The basement of the Site Building.

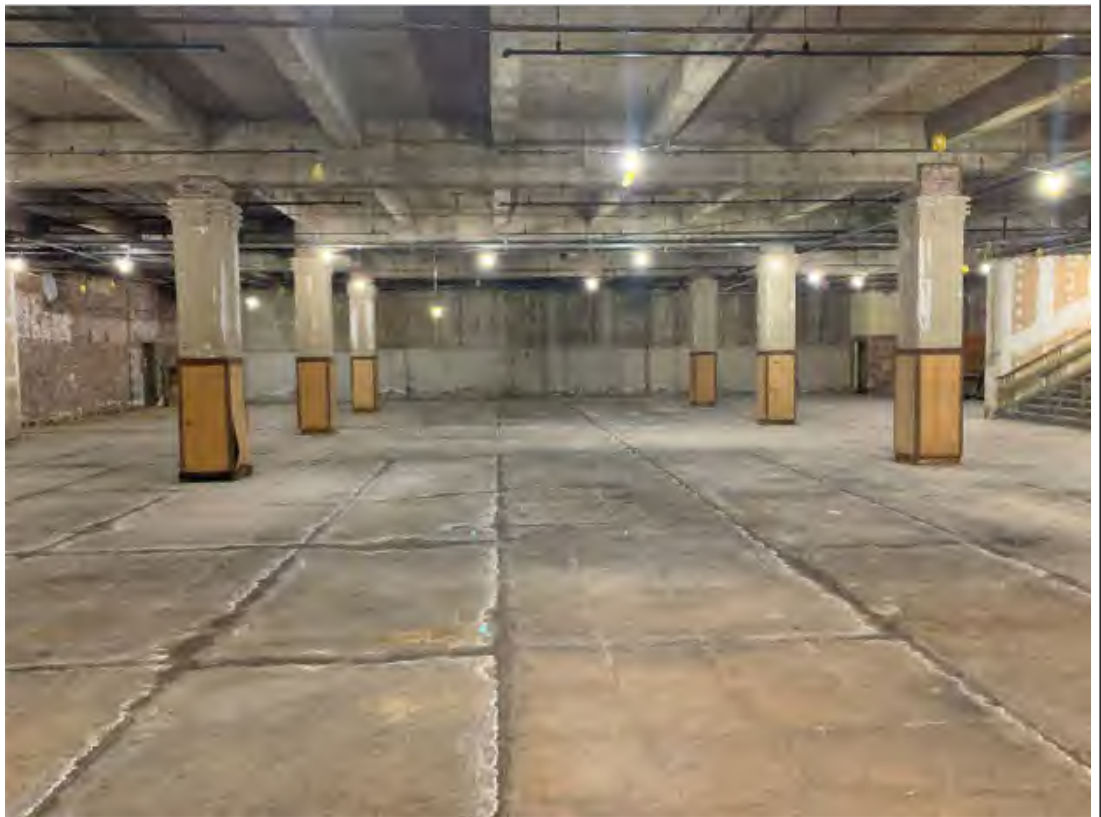


Photo No.:

Date:

4

01/06/2025

Direction: South

Description:

The boiler room in the basement of the building.

